

GENERAL NOTES:

- SITE AREA:
-TOTAL: 78.374 ACRES
-UNIT 1, PHASE B: 7.994 ACRES
- EXISTING ZONING: R-100
FRONT SETBACK: 35 FEET
REAR SETBACK: 40 FEET
SIDE SETBACK: 10 FEET/25 FEET
- LOCATION: LAND LOT 114, DISTRICT 7, PARCEL 001
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL SUBDIVISION
UNIT 1, PHASE B: 18 LOTS
- OWNER/DEVELOPER: JOHN WIELAND HOMES AND NEIGHBORHOOD, INC.
2355 LOG CABIN DRIVE
SNYRNA GA 30080
CONTACT PERSON: RICH FORAN 770-616-8668
- DESIGNER/ENGINEER: MCFARLAND-DYER & ASSOCIATES, INC.
4174 SILVER PEAK PARKWAY
SUWANEE, GEORGIA 30024
CONTACT PERSON: KEVIN D. WHIGHAM (770) 932-6550
- SOURCE OF TOPOGRAPHY IS FROM GWINNETT COUNTY GIS AND BOUNDARY IS FROM A FIELD RUN SURVEY BY PRIME ENGINEERING, INC (1888 EMERY ST. NW, SUITE 300 ATLANTA, GEORGIA 30318 PHONE: 404-425-7100) DATED JUNE 23, 2005 AND REFERENCE DATUM IS (U.S. NGVD 1929 MEAN SEA LEVEL, ETC.)
- ALL CONSTRUCTION SHALL CONFORM TO GWINNETT COUNTY DEVELOPMENT REGULATIONS. ALL CONSTRUCTION SHALL ALSO COMPLY WITH ALL APPLICABLE COUNTY, STATE AND FEDERAL CODES, STANDARDS AND REGULATIONS.
- THE UTILITIES SHOWN HERE HAVE BEEN LOCATED IN AN APPROXIMATE WAY. THE CONTRACTOR IS RESPONSIBLE FOR HAVING ALL UTILITIES MARKED AND SHALL CONTACT THE UTILITY PROTECTION CENTER AT (1-800-282-7411); AND SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES; AND SHALL PROTECT ALL UTILITIES FROM DAMAGE OR INTERRUPTION; AND SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES OCCASIONED DUE HIS FAILURE TO VERIFY THE LOCATION OR PROTECT UTILITIES.
- THERE IS NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES OR FLOODPLAIN PER FIRM PANEL 150322D180C DATED MAY 4TH 1992 ON THIS PROPERTY.
- THERE ARE NO WETLANDS BEING DISTURBED ON THIS SITE.
- 50-FOOT UNDISTURBED BUFFER AND A 75-FOOT IMPERVIOUS SETBACK SHALL BE MAINTAINED ADJACENT TO ALL STREAMS.
- STORM WATER MANAGEMENT FOR THIS FINAL PLAT IS PROVIDED IN THIS UNIT AND IS ADDRESSED IN PROJECT NAMED STONEHAVEN AT SUGARLOAF. WITH CASE NUMBER SOP 2005-00088.
- 1/2" REBAR TO BE SET AT ALL PROPERTY CORNERS.
- SIDEWALKS ARE REQUIRED ALONG THE FRONTAGE OF SEVER ROAD. SIDEWALKS ARE TO BE LOCATED 2' FROM THE BACK OF CURB AND SHALL BE CONSTRUCTED OF CONCRETE A MINIMUM OF 5' IN WIDTH AND 4" THICK WITH A CROSS SLOPE OF .25" PER FOOT. CONCRETE SHALL BE CLASS "B" AND HAVE A STRENGTH OF 2200 PSI @ 28 DAYS (D.R.6: 13.2.a-f).
- SIDEWALKS ARE REQUIRED ALONG BOTH SIDES OF THE INTERNAL STREETS. SIDEWALKS ARE TO BE 2' FROM BACK OF CURB AND SHALL BE CONSTRUCTED OF CONCRETE A MINIMUM OF 4' IN WIDTH AND 4" THICK WITH A CROSS SLOPE OF .25" PER FOOT. CONCRETE SHALL BE CLASS "B" AND HAVE A STRENGTH OF 2200 PSI @ 28 DAYS, D.R.6.13.2 a-f.
- DEVELOPERS SHALL INSTALL SIDEWALKS ON ABUTTING EXTERNAL STREETS. PASSIVE RECREATION AREA LOTS, AND OPEN SPACE LOTS, AND SHALL INSTALL INTERSECTION CURB RAMPS AT NEW STREET INTERSECTIONS, AND L-SHAPED MID-BLOCK RAMPS AT CUL-DE-SAC TURNAROUNDS, WITHIN 60 DAYS OF APPROVAL OF THE FINAL PLAT (D.R. 6.13.1.a(1)).
- DEVELOPERS SHALL INSTALL SIDEWALKS ON ANY VACANT LOTS REMAINING BETWEEN DEVELOPED LOTS (I.E., DWELLING UNDER CONSTRUCTION OR COMPLETED) PRIOR TO RELEASE OF THE SUBDIVISION MAINTENANCE SURETY (D.R. 6.13.1.a(1)).
- HOMEBUILDERS SHALL INSTALL SIDEWALKS, AND CURB RAMPS NOT REQUIRED TO BE INSTALLED BY DEVELOPERS, ON BUILDING LOTS PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY (D.R. 6.13.1.a.2).
- ARCHITECTURAL ELEVATIONS FOR ALL LOTS SHALL BE SUBMITTED FOR DIRECTOR'S APPROVAL PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- PERMANENT STRUCTURES AND TREES NOT ALLOWED IN SANITARY SEWER EASEMENT ACCORDING TO CURRENT GWINNETT COUNTY POLICY.
- UTILITY PROVIDER:
-WATER - GWINNETT COUNTY
-SEWER - GWINNETT COUNTY
- STREET TREES SHALL BE MAINTAINED AND CARED FOR BY THE PROPERTY OWNER ADJACENT TO THE TREE EXCEPT IN SUBDIVISIONS IN WHICH THE PROPERTY OWNERS ASSOCIATION PROVIDES MAINTENANCE AND CARE. MAINTENANCE SHALL INCLUDE REPLACEMENT AND TRIMMING AS NECESSARY.
- PER ARTICLE 8. SECTION 8.2.6.b OF THE DEVELOPMENT REGULATIONS, IT IS RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN ANY DETENTION FACILITY CONSTRUCTED ON THEIR PROPERTY, AND TO ENSURE THE FACILITY IS FREE OF OBSTRUCTION, SILT, OR DEBRIS.

WR2005-00021 - DEAD END STREETS CONNECTION ELIMINATION
WR2005-00024 - SUBDIVISION WITH PRIVATE STREETS & DRAINAGE SYSTEM

CONDITIONS:
1. ALL STREETS SHALL BE CONSTRUCTED TO PUBLIC STREET STANDARDS OR AS APPROVED BY MODIFICATION. ALL INTERIOR STREETS SHALL BE IDENTIFIED AS 50-FT WIDE EASEMENTS OWNED AND MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION. STREETS SHALL BE INSPECTED AS PUBLIC STREETS.

2. FOR BUILDING SETBACK PURPOSES, FRONT SETBACKS SHALL BE MEASURED AS IF THE STREETS WERE PUBLIC STREETS, OR AS APPROVED BY INDIVIDUAL VARIANCES.

- THE DEVELOPER SHALL ESTABLISH A MANDATORY PROPERTY OWNERS ASSOCIATION, WITH BY-LAWS WHICH SHALL INCLUDE THE FOLLOWING:
A. AUTOMATIC (MANDATORY) MEMBERSHIP OF ALL PURCHASERS OF LOTS THEREIN AND THEIR SUCCESSORS.
B. RESPONSIBILITY FOR MAINTENANCE, INSURANCE AND TAXES.
C. EQUITABLE SHARING OF THE COST OF MAINTENANCE WITH SHARES DEFINED BY THE ASSOCIATION BY-LAWS.
D. AUTHORITY TO PLACE LIENS ON THE REAL PROPERTY OF MEMBERS WHO FAIL TO PAY THEIR DUES OR ASSESSMENTS.
- DEVELOPER SHALL COMPLY WITH DEPARTMENT OF PUBLIC UTILITIES STANDARD PROPOSAL FOR THE INSTALLATION OF WATER AND SANITARY SEWER MAINS WITHIN PRIVATE DEVELOPMENT/SUBDIVISION.
- DEVELOPER SHALL COMPLY WITH THE DEPARTMENT OF EMERGENCY SERVICES GENERAL ORDER FOR SECURITY GATE ACCESS.
- ANY GUARDHOUSE/GATEHOUSE SHALL MEET REQUIREMENTS AS ESTABLISHED IN THE DEVELOPMENT REGULATIONS.
- THE DRAINAGE SYSTEM SHALL BE DESIGNED SUBJECT TO THE FINAL APPROVAL OF THE DIRECTOR OF DEPARTMENT OF PUBLIC UTILITIES AND CONSTRUCTED IN ACCORDANCE WITH THE DEVELOPMENT REGULATIONS. THE BY-LAWS OF THE PROPERTY OWNERS ASSOCIATION SHALL SPECIFY THAT MAINTENANCE OF THE DRAINAGE SYSTEM IS THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO INVESTIGATION OF COMPLAINTS ABOUT THE SYSTEM AND THE REPAIR AND CONSTRUCTION OF THE DRAINAGE SYSTEM.

ZONING NOTES:

- ZONING: R-100
- MINIMUM LOT SIZE: 15,000 SQFT SEWER
- MINIMUM LOT WIDTH: 100 FEET, EXCEPTION 85 FEET CUL-DE-SAC TURN-AROUND.
- MINIMUM ROAD FRONTAGE: 40 FEET
- MINIMUM DWELLING SIZE: 1,400 SQFT
- DENSITY:
-OVERALL: 113 UNITS/78.374 AC. = 1.44
-UNIT 1, PHASE B: 18 UNITS/7.994 AC. = 2.25
NET DENSITY-GROSS DENSITY (NO FLOOD, POWER & GAS EASEMENT, OR R.O.W.)
- MAXIMUM BUILDING HEIGHT: 35 FEET

RECREATION AREA NOTES:

-TOTAL SITE AREA: 78.37 AC.
RECREATIONAL AREA REQUIRED UNDEVELOPED CONDITION = MIN. 6% OF TOTAL SITE: 78.37 AC. X 0.06 = 4.70 AC. REQUIRED FOR DEVELOPED RECREATIONAL AREA.
6.78 AC. PROVIDED.
-0% IN FLOODPLAIN.

GWINNETT COUNTY COMMENT NOTES:

- APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY GWINNETT COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
- A MINIMUM OF TWO (2) TREES, AT LEAST 2" INCHES IN DIAMETER SHALL BE PLACED OR PRESERVED ON EACH INDIVIDUAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PLANTED TREES SHALL BE A SPECIES LISTED IN APPENDIX "A" OF THE BUFFER, LANDSCAPE, AND TREE ORDINANCE.
- RECREATION AREA TO BE DEEDED TO AND MAINTAINED BY A MANDATORY HOMEOWNER'S ASSOCIATION.
- COMMON AREAS & OPEN SPACE AREA TO BE DEEDED TO AND MAINTAINED BY A QUALIFIED HOMEOWNER'S ASSOCIATION.
- A SEPARATE BUILDING PERMIT SHALL BE OBTAINED FOR ALL RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT AND ALL RETAINING WALLS USED AS A DAM PRIOR TO CONSTRUCTION OF THE WALLS.
- AN APPROVED RESIDENTIAL DRAINAGE (RDP) IS REQUIRED PRIOR ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "RDP". AN APPROVED HOLD AND RELEASE AFFIDAVIT IS REQUIRED ON THOSE LOTS LABELED "RDP" OR RESIDENTIAL DRAINAGE STUDY (RDS). AN ELEVATION CERTIFICATE IS REQUIRED ON LOTS LABELED "RDP-E" OR "RDS-E".
- GWINNETT COUNTY DOES NOT ENFORCE PROTECTIVE COVENANTS. IT IS THE RESPONSIBILITY OF THE HOMEOWNERS TO ENSURE COMPLIANCE WITH THE PROTECTIVE COVENANTS.
- PER ARTICLE 8. SECTION 8.2.6.b OF THE DEVELOPMENT REGULATIONS, IT IS RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN ANY DETENTION FACILITY CONSTRUCTED ON THEIR PROPERTY AND TO ENSURE THE FACILITY IS FREE OF OBSTRUCTION, SILT OR DEBRIS.

OWNER'S ACKNOWLEDGMENT AND DECLARATION:

STATE OF GEORGIA, COUNTY OF GWINNETT

THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND DEDICATES BY THIS ACKNOWLEDGMENT AND DECLARATION TO THE USE OF THE PUBLIC FOREVER, ALL STREETS, SEWER COLLECTORS, LIFT STATIONS, DRAINS, EASEMENTS, AND OTHER PUBLIC FACILITIES AND APPURTENANCES THEREON SHOWN.

Charles E. Biele, III Sr. V.P. DATE SIGNED 1-5-07
SIGNATURE OF SUBDIVIDER

John Wieland Homes & Neighborhoods, Inc.
PRINTED OR TYPED NAME OF SUBDIVIDER

Charles E. Biele, III Sr. V.P. DATE SIGNED 1-5-07
SIGNATURE OF OWNER

John Wieland Homes & Neighborhoods, Inc.
PRINTED OR TYPED NAME OF OWNER

Charles E. Biele, III Sr. V.P.

FINAL PLAT FOR: STONEHAVEN AT SUGARLOAF UNIT 1, PHASE B

AREA CHART

LOT NUMBER	AREA (S.F.)	AREA (AC.)	BLOCK	STREET ADDRESS	TAX NUMBER
1	41,845	0.961			7-114-230
2	16,473	0.378	A	2317 GRACEHAVEN WAY	7-114-212
3	18,878	0.433	A	1505 GLENHAVEN WAY	7-114-213
4	26,347	0.606	A	2327 GRACEHAVEN WAY	7-114-214
5	18,983	0.436	A	2347 GRACEHAVEN WAY	7-114-215
6	15,750	0.362	A	2357 GRACEHAVEN WAY	7-114-216
7	15,750	0.362	A	2367 GRACEHAVEN WAY	7-114-217
8	15,750	0.362	A	2377 GRACEHAVEN WAY	7-114-218
9	15,064	0.346	A	2387 GRACEHAVEN WAY	7-114-219
10	18,915	0.434	A	2397 GRACEHAVEN WAY	7-114-220
11	15,083	0.346	A	2410 GRACEHAVEN WAY	7-114-222
12	18,456	0.424	A	2400 GRACEHAVEN WAY	7-114-223
13	15,531	0.357	A	2390 GRACEHAVEN WAY	7-114-224
14	16,013	0.368	A	2380 GRACEHAVEN WAY	7-114-225
15	16,013	0.368	A	2370 GRACEHAVEN WAY	7-114-226
16	16,013	0.368	A	2360 GRACEHAVEN WAY	7-114-227
17	16,300	0.374	A	2350 GRACEHAVEN WAY	7-114-228
18	15,287	0.351	A	2330 GRACEHAVEN WAY	7-114-229

FINAL PLAT APPROVAL

THE DIRECTOR OF THE DEPARTMENT OF PLANNING & DEVELOPMENT CERTIFIES THAT THIS PLAT COMPLIES WITH THE ZONING RESOLUTION AND THE DEVELOPMENT REGULATIONS, AND THAT IT HAS BEEN APPROVED BY ALL OTHER OPERATION COUNTY DEPARTMENTS, AS APPROPRIATE. THIS PLAT IS APPROVED SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE DEVELOPMENT PERFORMANCE AND MAINTENANCE AGREEMENT EXECUTED FOR THIS PROJECT BETWEEN THE OWNER AND GWINNETT COUNTY.

DATED THIS 22nd DAY OF January, 2007

Spencer M. Mac (designee)
DIRECTOR
DEPARTMENT OF PLANNING & DEVELOPMENT
FPL2006-00150

FINAL SURVEYOR'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENTS SHOWN HEREON, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST, AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 57,572 FEET AND AN ANGULAR ERROR OF 04" PER ANGLE POINT, AND WAS ADJUSTED USING LEAST SQUARES RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 396,036 FEET, AND CONTAINS A TOTAL OF 78.374 ACRES. THE EQUIPMENT USED TO PREPARE THE LINEAR AND ANGULAR MEASUREMENTS HEREIN WAS A LEICA CRA 1103 ROBOTIC.

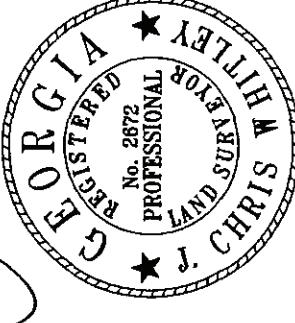
BY: *[Signature]*
GAI REGISTERED SURVEYOR NO. 2672 - - EXPIRES 06-30-2008

INTERSECTION CORNER SIGHT DISTANCE

CORNER SIGHT DISTANCE FOR STREETS AND PRIVATE DRIVEWAYS UTILIZING 10 TIMES THE SPEED LIMIT.

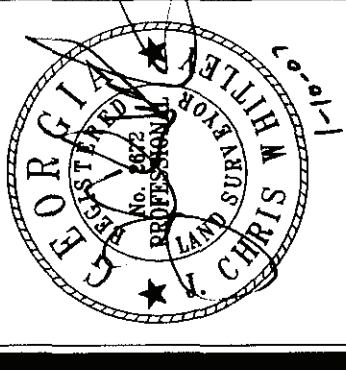
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED DRIVEWAY (S) FOR STONEHAVEN @ SUGARLOAF SUBDIVISION IS/ARE DESIGNED WITH ADEQUATE CORNER SIGHT DISTANCE FOR EACH DRIVEWAY/STREET APPROACHING A MINOR COLLECTOR OR MAJOR THOROUGHFARE. THE REGULATED SPEED LIMIT IS 40 MILES PER HOUR. THE SIGHT DISTANCE IS 400+ FEET IN THE NORTH DIRECTION AND 400+ FEET IN THE SOUTH DIRECTION. THE MAXIMUM CORNER SIGHT DISTANCE FROM THE DRIVEWAY IS EQUAL TO OR EXCEEDS 10 TIMES THE REGULATED SPEED OF THE INTERSECTION STREET, AS MEASURED FROM THE CENTER OF THE DRIVEWAY IN BOTH DIRECTIONS ALONG THE RIGHT-OF-WAY LINE OF THE INTERSECTION STREET (SECTION 9.7.4 OF THE GWINNETT COUNTY DEVELOPMENT REGULATIONS.)

SIGNED AND SEALED *[Signature]* DATE 1-10-07



FILED & RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY GA
DATE 1/24/07 TIME 2:25pm
PLAT BOOK 118 PAGE 252
TOM LAWLER, CLERK

~~FILED & RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY GA
DATE 1-24-07 TIME 2:25pm
PLAT BOOK 118 PAGE 252
TOM LAWLER, CLERK~~



McFarland-Dyer & Associates, Inc.
Land Planning
Landscape Architecture
Civil Engineering
Land Surveys
4174 Silver Peak Parkway
Suwanee, Georgia 30024
Phone (770) 932-6550
Fax (770) 932-6551

McFarland-Dyer & Associates, Inc.
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This plat was prepared for the exclusive use of the person, persons, or entity named herein. This plat does not extend to any unnamed persons, persons, or entity without the express renotification of the surveyor naming such person, persons, or entity.

SURVEY FOR:
**STONEHAVEN
AT
SUGARLOAF
UNIT 1, PHASE B
(A.K.A. SEVER
& BROWN
ROAD TRACTS)**
LAND LOT: 114
7TH DISTRICT
PARCEL 001
GWINNETT COUNTY
GEORGIA

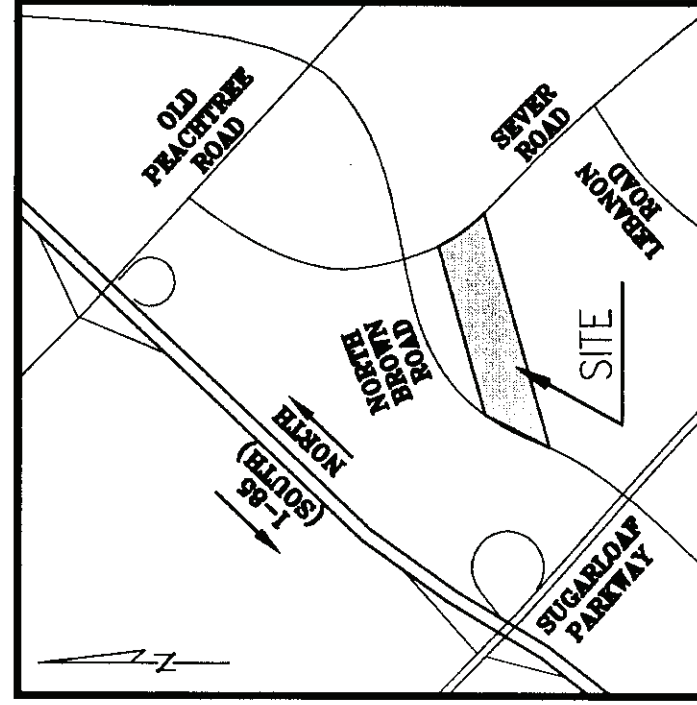
JOB NO: 050714
DRAWN BY: MP
CHECKED BY: TNS
SURVEYED BY: CD
DATE: 12-05-2006
REVISED: 01-03-2007

**FINAL
PLAT**
SHEET 1 OF 3

FINAL PLAT DATA

GENERAL	
ZONING	R-100
DEVELOPMENT TYPE	SINGLE FAMILY RESIDENTIAL SUBDIVISION
PROJECT DATA	
NUMBER OF LOTS	18
TOTAL AREA (ACRES)	1.944 AC
TOTAL DISTURBED AREA	1.5 AC
NET AREA (ACRES) *	1.944 AC
FLOOD PLAIN AREA	0 AC
FLOODPLAIN %	0 %
POWER/GAS EASEMENT OR RIGHT-OF-WAY - NONE	
SANITARY SERVICE	FUELGIT DEDICATED SEWER TO GWINNETT COUNTY
DENSITY (UNITS/ACRE)	
GROSS	LOTS / AC = 18 / 1.944 = 2.25 UNITS/AC
NET	NO FLOOD, POWER GAS EASEMENTS OR R.O.W. NET = GROSS
LOT & DWELLING DATA	
MINIMUM LOT SIZE	15,000 SQFT
MINIMUM DWELLING SIZE	1400 SQFT
RECREATION / OPEN SPACE	
RECREATION AREA (ACRES)	
REQUIRED	YES
REDUCED 50%	NO
AREA REQUIRED	6% OF 18.974 ACRES = 4.70 AC
AREA PROVIDED (FHIA)**	REC AREA AND DET. POND LOT = 4.50 AC
OPEN SPACE (ACRES)	
ORDINANCE COMPLIANCE OPTION	2 TREES PER LOT
TYPES	NONE
WIDTHS	
RELATED CASES	
TYPES CASE #	HVR 2005-00021 HVR 2005-00024
APPROVAL DATE	11-22-2005 12-19-2005

** THE RECREATION AREA IN UNIT 1, PHASE A WILL BE DEVELOPED AND A TOTAL OF 0.284 ACRES OF REC AREA WILL BE DEDICATED IN UNIT 2. OR A TOTAL OF 2.633 ACRES OF REC AREA WILL BE DEDICATED IN UNIT 2 IF THE REC AREA IS NOT DEVELOPED.



VICINITY MAP
NOT TO SCALE

CHANNEL CHART

Stonehaven at Sugarloaf Subdivision - Channel B														
Channel #	Station	Drainage Area (acres)	Runoff Coeff.	Conveyance Size (ft.)	Lining Material	Roughness Coeff. (n)	Length (ft.)	Slope (%)	Velocity (fps)	Design Storm Discharge (cfs)	25yr Design Discharge (cfs)	Total Sum Normal Flow Depth (ft.)	Width of Flow (ft.)	SIDE SLOPES (H:V)
B	2+00	0.06	0.50	4.0	Grass	0.06	200	+1.00	0.54	0.25	0.25	0.11	4.65	3:1
B	2+25	0.06	0.50	4.0	Grass	0.06	25	+8.00	1.03	0.06	0.06	0.06	4.35	3:1
B	3+30	0.06	0.50	4.0	Grass	0.06	105	+3.81	0.82	0.07	0.07	0.07	4.44	3:1

Stonehaven at Sugarloaf Subdivision - Channel C														
Channel #	Station	Drainage Area (acres)	Runoff Coeff.	Conveyance Size (ft.)	Lining Material	Roughness Coeff. (n)	Length (ft.)	Slope (%)	Velocity (fps)	Design Storm Discharge (cfs)	25yr Design Discharge (cfs)	Total Sum Normal Flow Depth (ft.)	Width of Flow (ft.)	SIDE SLOPES (H:V)
C	1+60	0.73	0.50	4.0	Grass	0.06	160	+1.25	1.91	9.98	9.98	0.81	8.87	3:1
C	1+85	0.34	0.50	4.0	Grass	0.06	25	+8.00	3.68	25yr	25yr	0.49	6.97	3:1
C	2+30	0.34	0.50	4.0	Berm. SOD	0.06	45	+13.00	4.35	25yr	25yr	0.43	6.60	3:1
C	2+80	0.34	0.50	4.0	Grass	0.06	50	+4.00	2.89	25yr	25yr	0.60	7.58	3:1
C	4+00	0.34	0.50	4.0	Grass	0.06	120	+1.67	2.12	25yr	25yr	0.75	8.52	3:1

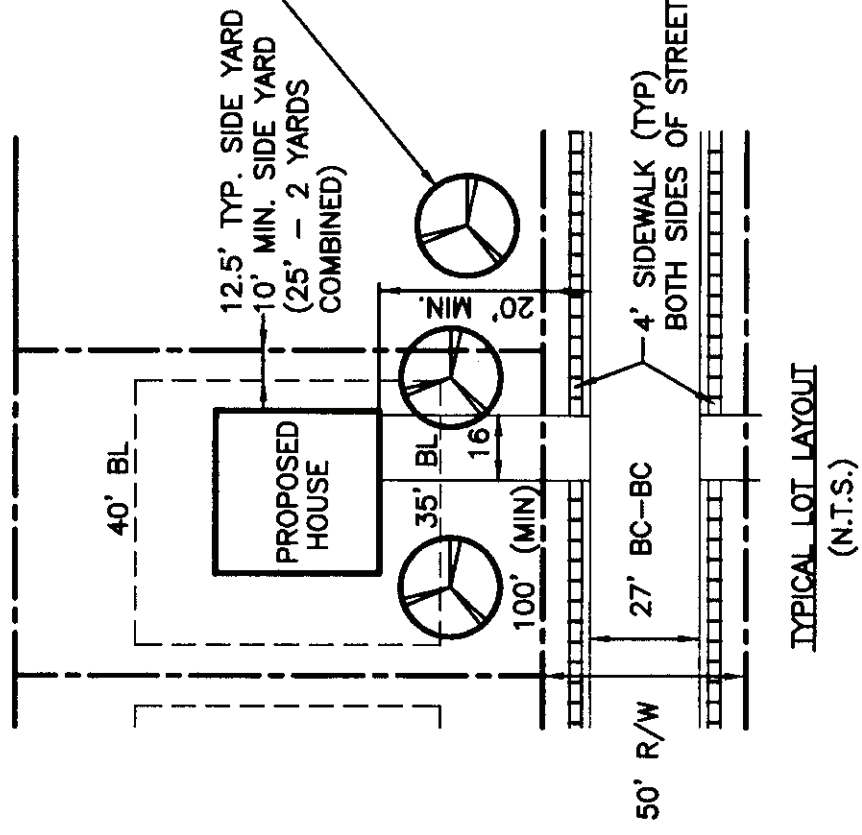
STORM WATER PIPE CHART

Pipe #	Mat.	Location	Inlet Type	D.A. (Acres)	C	Tc (Min)	Q (Sum)	Slope %	Lgth. +/- (ft.)	Size (in)	Vel. (fps)	Q 10 (cfs)	Q 10 (in/Hr)	Gutter Slope	Gutter Spread	
30	AST-2	8A-5L	SWCB	0.95	0.80	5	4.72	7.0	216.63	18	5.36	7.30	7.30	4.16	6.3	7.9
11	AST-2	3D-3C	DI	1.28	0.35	5	4.42	5.5	210.08	18	5.95	7.30	7.30	3.27		
10	AST-2	3C-3B	DI	4.83	0.35	5	16.69	2.0	234.41	24	6.33	7.30	7.30	12.34		
9	AST-2	3B-3A	JB	0.35	0.35	5	0.00	0.99	63.80	24	5.57	7.30	7.30	0.00		
8	AST-2	2H-2G	SWCB	0.73	0.65	5	3.93	2.5	202.88	18	4.65	7.30	7.30	3.46	3.5	4.1
7	AST-2	2G-2F	DWCB	1.54	0.60	5	7.65	1.0	141.71	24	4.14	7.30	7.30	6.75	3.3	5.3
6	AST-2	2F-2E	JB	0.06	0.35	5	0.00	4.1	98.13	24	7.32	7.30	7.30	0.00		
5	AST-2	2E-2D	DI	0.06	0.35	5	0.17	7.5	161.78	24	7.48	7.30	7.30	0.15		

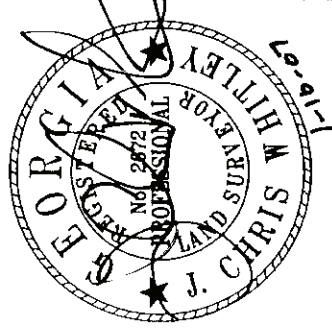
*SIZED FOR 100YR

PLANNING NOTES:

- GWINNETT COUNTY ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED SUBDIVISION PLAT.
- STREAM BUFFER EASEMENTS ARE TO REMAIN IN A NATURAL AND UNDISTURBED CONDITION.
- STRUCTURES ARE NOT ALLOWED IN DRAINAGE EASEMENTS.
- THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE REQUIRES THAT A 25 FOOT BUFFER ADJACENT TO ALL STATE WATERS BE MAINTAINED (ARTICLE 4.3 SECTION 4.3 PARAGRAPH 15). AN EXCEPTION IS GRANTED TO HOMEOWNERS WHO PERFORM MINOR LAND DISTURBING ACTIVITIES SUCH AS HOME LANDSCAPING, HOME GARDENS, REPAIRS AND MAINTENANCE WORK (ARTICLE 3, SECTION 3.1, PARAGRAPH 3).
- A RESIDENTIAL DRAINAGE PLAN OR RESIDENTIAL DRAINAGE STUDY SHALL BE REQUIRED TO BE APPROVED BY THE DEPARTMENT OF PLANNING AND DEVELOPMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "RDP" OR "RDS", RESPECTIVELY. PLEASE REFER TO THE GWINNETT COUNTY DEVELOPMENT REGULATIONS AND CONTACT THE GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT FOR FURTHER INFORMATION.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNERS OF THE STORM WATER MANAGEMENT FACILITY TO KEEP THE ACCESS DRIVE FREE OF OBSTRUCTION AND TO MAINTAIN THE FACILITY FREE OF OBSTRUCTION, SILT AND DEBRIS, AND OPERATIONAL PURSUANT TO COUNTY.
- A HOUSE LOCATION PLAN SHALL BE REQUIRED TO BE APPROVED BY THE DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "HLP". A HOUSE LOCATION PLAN IS A SCALE DRAWING SUBMITTED BY THE BUILDER AT THE TIME OF PERMIT. IT IS NOT REQUIRED THAT THIS PLAN BE PREPARED BY A LAND SURVEYOR OR PROFESSIONAL ENGINEER. THE PURPOSE OF THIS PLAN IS TO ENSURE THAT THE HOUSE IS PROPERLY LOCATED ON THE LOT. PLEASE REFER TO THE GWINNETT COUNTY DEVELOPMENT REGULATIONS OR CONTACT THE GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT FOR FURTHER INFORMATION.



NOTES:
 -MINIMUM DWELLING SIZE: 1,400 SQFT
 -A MINIMUM OF TWO (2) TREES AT LEAST 2 INCHES IN DIAMETER SHALL BE PLACED OR PRESERVED ON EACH INDIVIDUAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PLANTED TREES SHALL BE A SPECIES LISTED IN APPENDIX "A" OF THE BUFFER, LANDSCAPE, AND TREE ORDINANCE.



McFarland-Dyer & Associates, Inc.
 Lead Planning
 Landscape Architecture
 Civil Engineering
 Lead Surveyors
 4174 Silver Peak Parkway
 Suwanee, Georgia 30024
 Phone (770) 992-6550
 Fax (770) 992-6551

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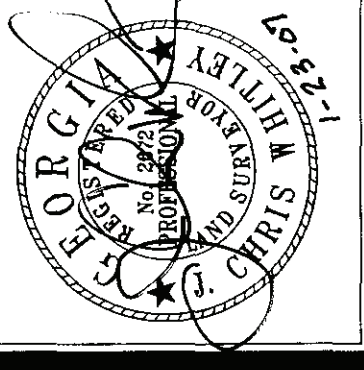
SURVEY FOR:
STONEHAVEN
AT
SUGARLOAF
UNIT 1, PHASE B
(A.K.A. SEVER
& BROWN
ROAD TRACTS)
 LAND LOT: 114
 7TH DISTRICT
 PARCEL 001
 GWINNETT COUNTY
 GEORGIA

JOB NO: 050714
 DRAWN BY: MP
 CHECKED BY: TNS
 SURVEYED BY: CD
 DATE: 12/05/2006
 REVISED: 01/03/2007

FINAL
PLAT

~~FILED & RECORDED
 CLERK SUPERIOR COURT
 GWINNETT COUNTY GA
 DATE 1-22-2006 TIME 2:00PM
 PLAT BOOK 118 PAGE 232
 TOM LAWLER, CLERK~~

FILED & RECORDED
 CLERK SUPERIOR COURT
 GWINNETT COUNTY GA
 DATE 11/24/05 TIME 2:35PM
 PLAT BOOK 118 PAGE 232
 TOM LAWLER, CLERK



McFarland-Dyer & Associates, Inc.
 Land Planning
 Landscape Architecture
 Civil Engineering
 Land Surveyors

474 Silver Peak Parkway
 Suwanee, Georgia 30024
 Phone (770) 932-6550
 Fax (770) 932-6651

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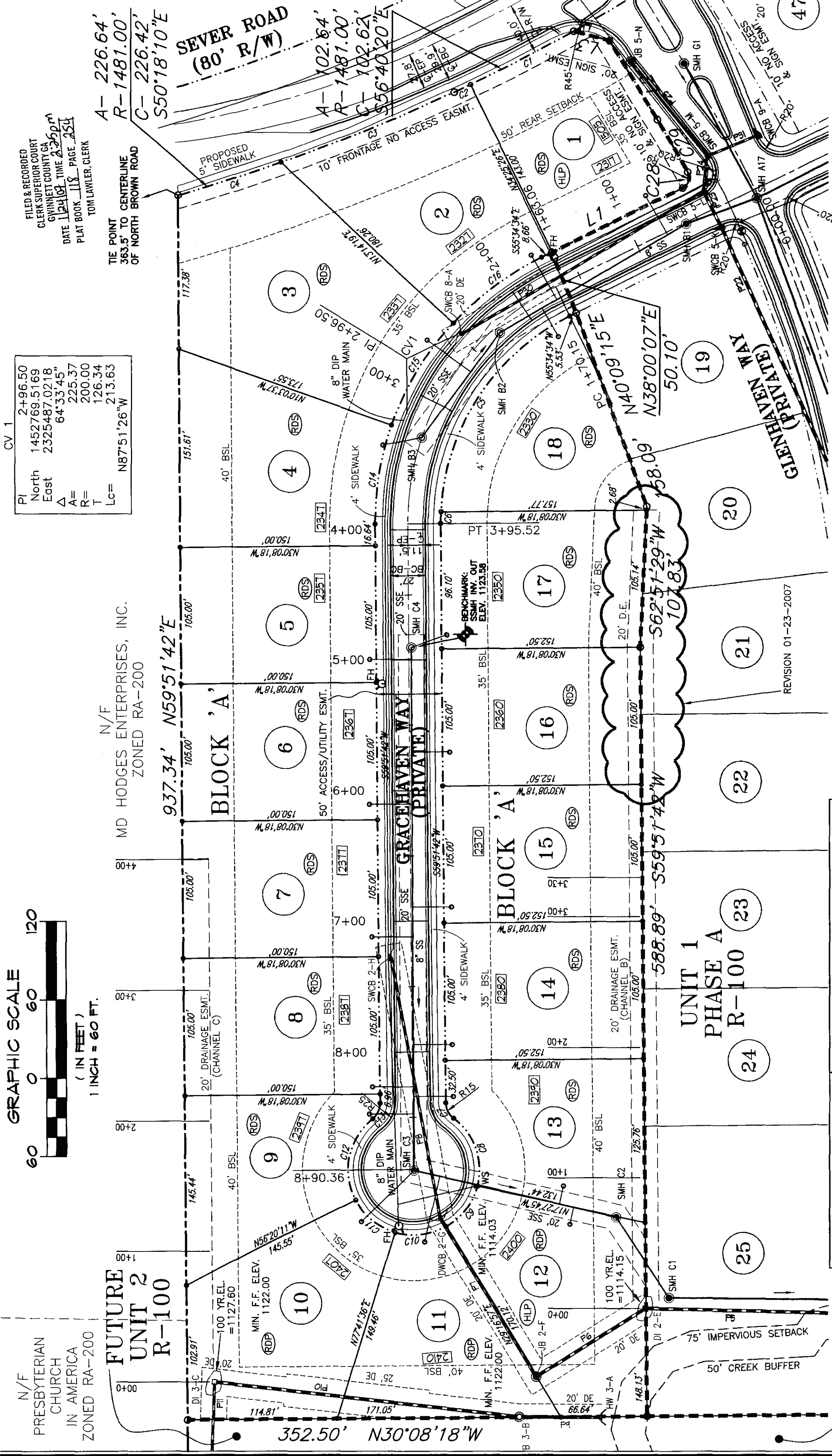
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 GWINNETT COUNTY
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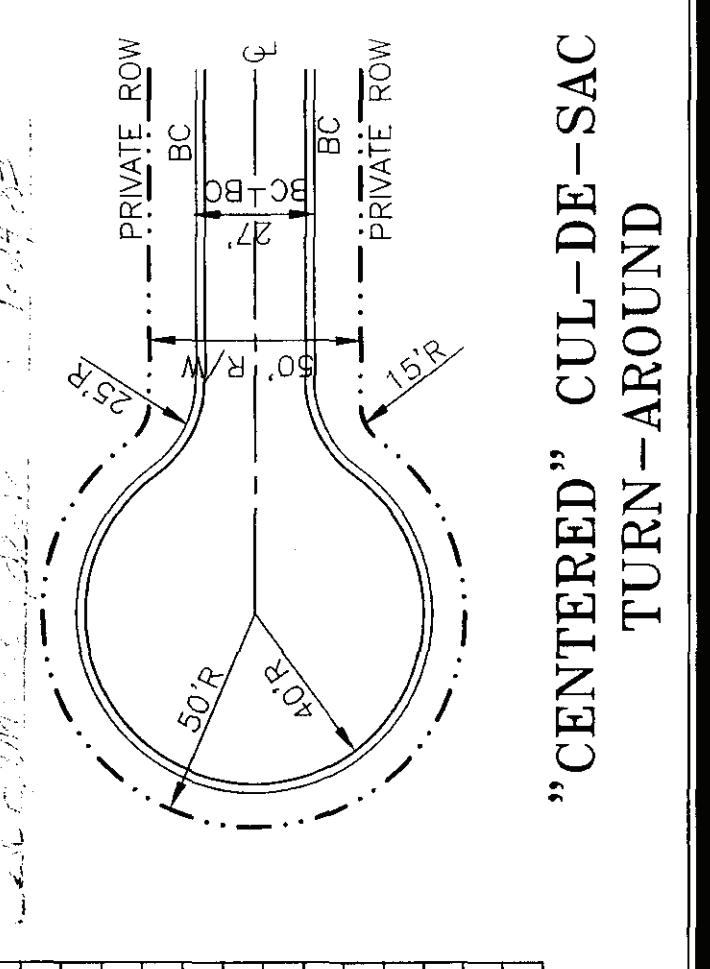
JOB NO: 05-0714
DRAWN BY: MP
CHECKED BY: TNS
SURVEYED BY: CD
DATE: 12/05/2006
REVISED: 01/25/2007

**FINAL
 PLAT**

SHEET 3 OF 3



REVISION 1-23-2007:
 THIS REVISION TO EXTEND THE DRAINAGE EASEMENT ALONG THE REAR PROPERTY LINES OF LOTS 16 & 17.
 C.W. V. Ouma
 Richard Culbath, 12/14/07
 STORMWATER MANAGEMENT (DATE) PLANNING AND DEVELOPMENT (DATE)



CURVE CHART

CURVE	ARC	RADIUS	CHORD	CHORD BEARING
C1	89.19'	1481.00'	89.18'	N56°55'57"W
C2	13.45'	1481.00'	13.45'	N54°56'49"W
C3	143.43'	1481.00'	143.38'	N51°54'44"W
C4	83.21'	1481.00'	83.20'	N47°31'42"W
C5	188.29'	175.00'	179.34'	N86°23'58"W
C6	8.91'	175.00'	8.90'	S61°19'10"W
C7	13.62'	15.00'	13.16'	S33°51'05"W
C8	58.51'	50.00'	55.22'	S41°21'45"W
C9	40.04'	50.00'	38.98'	N82°10'32"W
C10	40.02'	50.00'	38.96'	N36°18'16"W
C11	40.02'	50.00'	38.96'	N09°33'21"E
C12	69.29'	50.00'	63.87'	N72°11'02"E
C13	13.62'	15.00'	13.16'	N85°52'18"E
C14	76.88'	225.00'	76.50'	N69°38'59"E
C15	91.94'	225.00'	91.30'	S88°51'21"E
C16	84.72'	225.00'	84.22'	S86°21'46"E
C18	14.50'	9.00'	12.98'	N78°16'45"E
C29	46.74'	860.00'	46.73'	N30°34'39"E

ABBREVIATIONS

INV	INVERT ELEVATION
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE
FFE	FINISHED FLOOR ELEVATION
TBM	TEMPORARY BENCHMARK
GV	GAS VALVE
UGCM	UNDERGROUND CABLE MARKER
GLM	GAS LINE MARKER
WLM	WATER LINE MARKER
PB	PLAT BOOK
DB	DEED BOOK
N/F	NOW OR FORMERLY
SSMH	SANITARY SEWER MANHOLE
DWCB	DOUBLE WING CATCH BASIN
SWCB	SINGLE WING CATCH BASIN
FES	FLARED END SECTION
CONC	CONCRETE

LINE CHART

LINE	DISTANCE	BEARING
L1	111.81'	S55°34'34"E
L2	70.73'	N29°01'14"E
L3	28.77'	N15°01'05"W

LEGEND

U	UTILITY POLE (PP)
G	GUY WIRE
L	LIGHT POLE (LP)
F	FLAG POLE (FP)
H	FIRE HYDRANT (FH)
S	SIGN
J	JUNCTION BOX (JB)
D	DROP INLET (DI)
V	WATER VALVE (WV)
R	ROOF DRAIN (RD)
C	CLEAN OUT (CO)
M	WATER METER (WM)
Man	SANITARY MANHOLE
IP	IRON PIN FOUND
CONC	CONCRETE
Wall	WALL
HW	HEAD WALL (HW)
FL	FENCE LINE
TL	TREE LINE
HR	HANDICAP RAMP
CG	CURB AND GUTTER

