

XPL 2006-00030

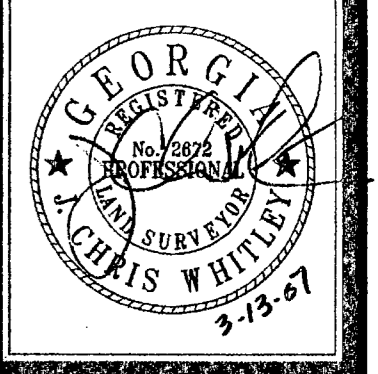
EXEMPTION PLAT DATA	
GENERAL	
ZONING:	R-100
DEVELOPMENT TYPE:	SINGLE FAMILY RESIDENTIAL
PROJECT DATA	
NUMBER OF LOTS:	5
ACREAGE:	3.071 AC
SANITARY SERVICE:	GRAVITY SEWER
RELATED CASES	
TYPE CASE #:	
APPROVAL DATE:	

COVENANTS NOTE:
THIS PLAT IS SUBJECT TO THE COVENANTS SET FORTH IN THE SEPARATE DOCUMENTS ATTACHED HERETO RECORDED ON 12/20/06 WHICH HEREBY BECOME A PART OF THIS PLAT, AND WHICH WERE RECORDED IN DEED BOOK 4737 - PG 296 AND SIGNED BY THE OWNER.

GWINNETT COUNTY STORM WATER NOTES:
1. THERE IS NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COARSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES.
2. THERE ARE NO WETLANDS ON THIS SITE.
3. THERE ARE NO STATE WATERS BUFFERS ON THIS SITE.

4. THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE REQUIRES THAT A 25 FOOT BUFFER ADJACENT TO ALL STATE WATERS BE MAINTAINED (ARTICLE 4 SECTION 43 PARAGRAPH 15). AN EXCEPTION IS GRANTED TO HOMEOWNERS WHO PERFORM MINOR LAND DISTURBING ACTIVITIES SUCH AS HOME LANDSCAPING, HOME GARDENS, REPAIRS AND MAINTENANCE WORK (ARTICLE 3, SECTION 31, PARAGRAPH 3).
5. GWINNETT COUNTY ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHTS-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED SUBDIVISION PLAT.
6. AN APPROVED RESIDENTIAL DRAINAGE PLAN (RDP) IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "RDP". AN APPROVED HOLD AND RELEASE AFFIDAVIT IS REQUIRED ON THOSE LOTS LABELED "RDP" OR RESIDENTIAL DRAINAGE STUDY "RDS". AN ELEVATION CERTIFICATE IS REQUIRED ON THOSE LOTS LABELED "RDP" OR "RDS".

GENERAL NOTES:
1. THE LOTS SHOWN HERON MAY NOT BE RESUBDIVIDED EXCEPT THROUGH THE SUBDIVISION PROCESS AS PROVIDED BY THE GWINNETT COUNTY DEVELOPMENT REGULATIONS IN EFFECT AT THAT TIME.
2. STREAM BUFFER EASEMENTS ARE TO REMAIN IN A NATURAL AND UNDISTURBED CONDITION.
3. STRUCTURES ARE NOT ALLOWED IN DRAINAGE EASEMENTS.
4. 1/2" REBARS TO BE SET AT ALL PROPERTY CORNERS.
5. ALL EXISTING HOMES TO BE REMOVED.
6. PERMANENT STRUCTURES AND TREES ARE NOT ALLOWED IN SANITARY SEWER EASEMENTS ACCORDING TO CURRENT GWINNETT COUNTY POLICY.



McFarland-Dyer & Associates, Inc.
Lead Planning
Landscape Architecture
Civil Engineering
Land Surveys

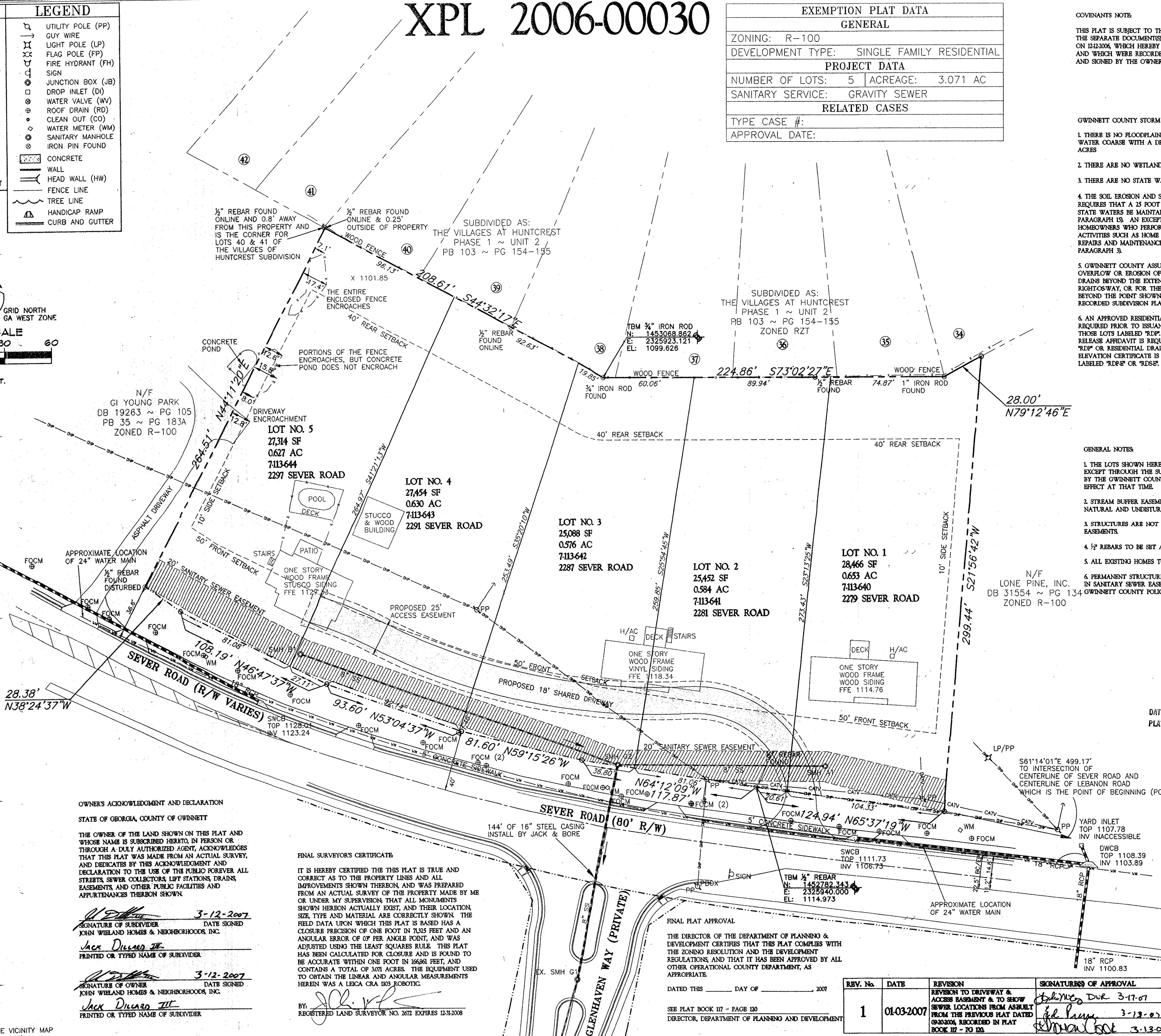
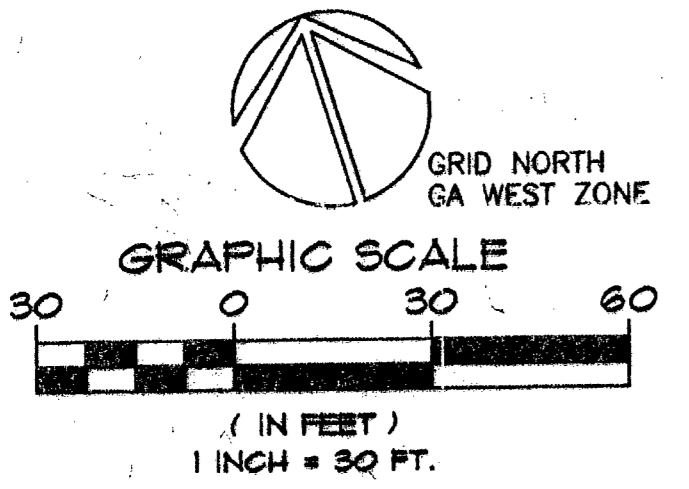
474 Silver Peak Parkway
Suwanee, Georgia 30024
Phone (770) 932-6550
Fax (770) 932-6551

PROJECT DATA:

- Field data was obtained on 06/05/2006 & 07/11/2006.
- FIRM map number 130320180C, effective 05/04/99, indicates that this tract does not lie in an area designated as having flood hazard.
- Elevations determined by a Leica GPS GX1230 and elevations adjusted to Geoid 83 - NAD83.
- Zoning - R100
Setbacks:
Front - 50'
Side - 10' (one yard)
Rear - 40'
Minimum Lot Size - 15000 SF
Minimum Lot Width - 130'
Minimum Frontage - 47'
Minimum Dwelling Size - 1400 SF
- OWNER:
John Wieland Homes & Neighborhoods
Attn: Mike Herman
770 703 - 300
2375 Log Cabin Drive
Suwanee, GA 30080
- Density: 163 Units Per Acre
- Total Area: 3071 AC
- Original Tax ID Numbers:
7113013
7113018
7113128

ABBREVIATIONS	
INV	INVERT ELEVATION
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE
SSE	SANITARY SEWER EASEMENT
TBM	TEMPORARY BENCHMARK
GV	GAS VALVE
UCGM	UNDERGROUND CABLE MARKER
GLM	GAS LINE MARKER
CATV	CABLE TV
PB	PLAT BOOK
DB	DEED BOOK
N/F	NOW OR FORMERLY
SSMH	SANITARY SEWER MANHOLE
DWCB	DOUBLE WING CATCH BASIN
SWCB	SINGLE WING CATCH BASIN
OHP	OVERHEAD POWER
CONC	CONCRETE
FOCM	FIBER OPTIC CABLE MARKER
IPS	1/2" REBAR SET
PBOX	PHONE BOX
H/AC	HEATING/AIR CONDITIONING UNIT

LEGEND	
	UTILITY POLE (PP)
	GUY WIRE
	LIGHT POLE (LP)
	FLAG POLE (FP)
	FIRE HYDRANT (FH)
	SIGN
	JUNCTION BOX (JB)
	DROP INLET (DI)
	WATER VALVE (WV)
	ROOF DRAIN (RD)
	CLEAN OUT (CO)
	WATER METER (WM)
	SANITARY MANHOLE
	IRON PIN FOUND
	CONCRETE
	WALL
	HEAD WALL (HW)
	FENCE LINE
	TREE LINE
	HANDICAP RAMP
	CURB AND GUTTER



OWNERS ACKNOWLEDGMENT AND DECLARATION
STATE OF GEORGIA, COUNTY OF GWINNETT

THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND DEDICATES BY THIS ACKNOWLEDGMENT AND DECLARATION TO THE USE OF THE PUBLIC FOREVER ALL STREETS, SEWER COLLECTORS, LIFT STATIONS, DRAINS, EASEMENTS AND OTHER PUBLIC FACILITIES AND APPURTENANCES THEREON SHOWN.

John Wieland Homes & Neighborhoods, Inc.
3-12-2007
DATE SIGNED

John Wieland Homes & Neighborhoods, Inc.
3-12-2007
DATE SIGNED

FINAL SURVEYOR'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENTS SHOWN THEREON, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION THAT ALL MONUMENTS SHOWN HERON ACTUALLY EXIST, AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 71,325 FEET AND AN ANGULAR ERROR OF 03" PER ANGLE POINT, AND WAS ADJUSTED USING THE LEAST SQUARES RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 166,861 FEET, AND CONTAINS A TOTAL OF 3071 ACRES. THE EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS HEREIN WAS A LEICA CRA 103 ROBOTIC.

BY: *John D. Williams*
REGISTERED LAND SURVEYOR NO. 2672 EXPIRES 12-31-2008

FINAL PLAT APPROVAL

THE DIRECTOR OF THE DEPARTMENT OF PLANNING & DEVELOPMENT CERTIFIES THAT THIS PLAT COMPLIES WITH THE ZONING RESOLUTION AND THE DEVELOPMENT REGULATIONS, AND THAT IT HAS BEEN APPROVED BY ALL OTHER OPERATIONAL COUNTY DEPARTMENT, AS APPROPRIATE.

DATED THIS _____ DAY OF _____ 2007

SEE PLAT BOOK 117 - PAGE 120
DIRECTOR, DEPARTMENT OF PLANNING AND DEVELOPMENT

REV. No.	DATE	REVISION	SIGNATURES OF APPROVAL
1	01-03-2007	REVISION TO DRIVEWAY & ACCESS EASEMENT & TO SHOW SEWER LOCATIONS FROM ASBUILT FROM THE PREVIOUS PLAT DATED 09-20-2006, RECORDED IN PLAT BOOK 117 - PG 120	<i>John Dyer</i> 3-12-07 <i>John Williams</i> 3-12-07 <i>John Williams</i> 3-13-07

McFarland-Dyer & Associates, Inc.
© 2006 - All Rights Reserved

This plat and permitted reproductions in whole or in part are instruments of service and are the sole property of McFarland-Dyer & Associates, Inc. unless otherwise agreed to, they shall not be reproduced or conveyed in any manner not as they are to be used for any project other than specifically indicated hereon without written authorization from and the compensation to McFarland-Dyer & Associates, Inc.

This plat was prepared for the exclusive use of the person, persons, or entity named hereon. This plat does not extend to any unnamed person, persons, or entity without the express certification of the surveyor naming such person, persons, or entity.

FILED & RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY GA
DATE 3-13-07 TIME 11:57 AM
PLAT BOOK 119 PAGE 163
TOM LAWLER, CLERK

LAND LOT: 113
DISTRICT: 7th
COUNTY: GWINNETT
STATE: GEORGIA

SEVER ROAD TRACT
XPL 2006-00030

JOB NO: 06092
DRAWN BY: TNS
CHECKED BY: KCV
SURVEYED BY: CD
DATE: 09-20-2006
REVISED: 03-05-2007

EXEMPTION PLAT
SHEET 1 OF 1