

GENERAL NOTES:

- 1. SITE AREA: -TOTAL: 78.374 ACRES -UNIT 2, PHASE A: 6.078 ACRES
2. EXISTING ZONING: R-100
3. LOCATION: LAND LOT 114, DISTRICT 7, PARCEL 170
4. PROPOSED USE: SINGLE FAMILY RESIDENTIAL SUBDIVISION UNIT 2, PHASE A: 11 LOTS
5. OWNER/DEVELOPER: JOHN WIELAND HOMES AND NEIGHBORHOODS
6. SOURCE OF TOPOGRAPHY IS FROM GWINNETT COUNTY GIS AND BOUNDARY IS FROM A FIELD RUN SURVEY BY PRIME ENGINEERING, INC.
7. ALL CONSTRUCTION SHALL CONFORM TO GWINNETT COUNTY DEVELOPMENT REGULATIONS.
8. THE UTILITIES SHOWN HERE HAVE BEEN LOCATED IN AN APPROXIMATE WAY.
9. THERE IS NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES OR FLOODPLAIN PER FIRM PANEL 13135C0057D DATED SEPTEMBER 29, 2009 ON THIS PROPERTY.
10. THERE ARE NO WETLANDS BEING DISTURBED ON THIS SITE.
11. 50-FOOT UNDISTURBED BUFFER AND A 75-FOOT IMPERVIOUS SETBACK SHALL BE MAINTAINED ADJACENT TO ALL STREAMS.
12. STORM WATER MANAGEMENT FOR THIS FINAL PLAT IS PROVIDED IN THIS UNIT AND IS ADDRESSED IN PROJECT NAMED STONEHAVEN AT SUGARLOAF WITH CASE NUMBER SDP 2005-00088.
13. 1/2" REBAR TO BE SET AT ALL PROPERTY CORNERS.
14. SIDEWALKS ARE REQUIRED ALONG THE FRONTAGE OF SEVER ROAD. SIDEWALKS ARE TO BE LOCATED 2' FROM THE BACK OF CURB AND SHALL BE CONSTRUCTED OF CONCRETE A MINIMUM OF 5" IN WIDTH AND 4" THICK WITH A CROSS SLOPE OF .25" PER FOOT.
15. SIDEWALKS ARE REQUIRED ALONG BOTH SIDES OF THE INTERNAL STREETS. SIDEWALKS ARE TO BE 2' FROM BACK OF CURB AND SHALL BE CONSTRUCTED OF CONCRETE A MINIMUM OF 4" IN WIDTH AND 4" THICK WITH A CROSS SLOPE OF .25" PER FOOT.
16. DEVELOPERS SHALL INSTALL SIDEWALKS ON ABUTTING EXTERNAL STREETS, PASSIVE RECREATION AREA LOTS, AND OPEN SPACE LOTS, AND SHALL INSTALL INTERSECTION RADIUS CURB RAMPS AT NEW STREET INTERSECTIONS.
17. DEVELOPERS SHALL INSTALL SIDEWALKS ON ANY VACANT LOTS REMAINING BETWEEN DEVELOPED LOTS (I.E., DWELLING UNDER CONSTRUCTION OR COMPLETED) PRIOR TO RELEASE OF THE SUBDIVISION MAINTENANCE SURETY (D.R. 6.13.1.a (1)).
18. HOMEBUILDERS SHALL INSTALL SIDEWALKS, AND CURB RAMPS NOT REQUIRED TO BE INSTALLED BY DEVELOPERS, ON BUILDING LOTS PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY (D.R. 6.13.1.a (2)).
19. SANITARY SEWER EASEMENTS AND DRAINAGE EASEMENTS ARE CENTERED UPON THE CENTERLINE OF PIPES WITHIN THESE EASEMENTS.
20. PERMANENT STRUCTURES AND TREES NOT ALLOWED IN SANITARY SEWER EASEMENT ACCORDING TO CURRENT GWINNETT COUNTY POLICY.
21. UTILITY PROVIDER: -WATER - GWINNETT COUNTY -SEWER - GWINNETT COUNTY
22. STREET TREES SHALL BE MAINTAINED AND CARED FOR BY THE PROPERTY OWNER ADJACENT TO THE TREE EXCEPT IN SUBDIVISIONS IN WHICH THE PROPERTY OWNERS ASSOCIATION PROVIDES MAINTENANCE AND CARE. MAINTENANCE SHALL INCLUDE REPLACEMENT AND TRIMMING AS NECESSARY.
23. ALL LOTS ARE TO HAVE A RESERVE STRIP FOR DRAINAGE CONTROL 5' EITHER SIDE OF THE PROPERTY LINES, 10' EITHER SIDE OF REAR PROPERTY LINES AND 20' ALONG EXTERIOR (REAR) PROPERTY LINES.
WVR2005-00021 - DEAD END STREETS CONNECTION ELIMINATION
WVR2005-00024 - SUBDIVISION WITH PRIVATE STREETS & DRAINAGE SYSTEM
CONDITIONS:
1. ALL STREETS SHALL BE CONSTRUCTED TO PUBLIC STREET STANDARDS OR AS APPROVED BY MODIFICATION. ALL INTERIOR STREETS SHALL BE IDENTIFIED AS 50-FT WIDE EASEMENTS OWNED AND MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION. STREETS SHALL BE INSPECTED AS PUBLIC STREETS.
2. FOR BUILDING SETBACK PURPOSES, FRONT SETBACKS SHALL BE MEASURED AS IF THE STREETS WERE PUBLIC STREETS, OR AS APPROVED BY INDIVIDUAL VARIANCES.
3. THE DEVELOPER SHALL ESTABLISH A MANDATORY PROPERTY OWNERS ASSOCIATION, WITH BY-LAWS WHICH SHALL INCLUDE THE FOLLOWING:
A. AUTOMATIC (MANDATORY) MEMBERSHIP OF ALL PURCHASERS OF LOTS THEREIN AND THEIR SUCCESSORS.
B. RESPONSIBILITY FOR MAINTENANCE, INSURANCE AND TAXES.
C. EQUITABLE SHARING OF THE COST OF MAINTENANCE WITH SHARES DEFINED BY THE ASSOCIATION BY-LAWS.
D. AUTHORITY TO PLACE LIENS ON THE REAL PROPERTY OF MEMBERS WHO FAIL TO PAY THEIR DUES OR ASSESSMENTS.
4. DEVELOPER SHALL COMPLY WITH DEPARTMENT OF PUBLIC UTILITIES STANDARD PROPOSAL FOR THE INSTALLATION OF WATER AND SANITARY SEWER MAINS WITHIN PRIVATE DEVELOPMENT/SUBDIVISION.
5. DEVELOPER SHALL COMPLY WITH THE DEPARTMENT OF EMERGENCY SERVICES GENERAL ORDER FOR SECURITY GATE ACCESS.
6. ANY GUARDHOUSE/GATEHOUSE SHALL MEET REQUIREMENTS AS ESTABLISHED IN THE DEVELOPMENT REGULATIONS.
7. THE DRAINAGE SYSTEM SHALL BE DESIGNED SUBJECT TO THE FINAL APPROVAL OF THE DIRECTOR OF DEPARTMENT OF PUBLIC UTILITIES AND CONSTRUCTED IN ACCORDANCE WITH THE DEVELOPMENT REGULATIONS. THE BY-LAWS OF THE PROPERTY OWNERS ASSOCIATION SHALL SPECIFY THAT MAINTENANCE OF THE DRAINAGE SYSTEM IS THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION, WHOSE SHALL INCLUDE BUT NOT BE LIMITED TO INVESTIGATION OF COMPLAINTS ABOUT THE SYSTEM AND THE REPAIR AND CONSTRUCTION OF THE DRAINAGE SYSTEM.
ZONING NOTES:
1. ZONING: R-100
2. MINIMUM LOT SIZE: 15,000 SQ FT SEWER
3. MINIMUM LOT WIDTH: 100 FEET, EXCEPTION 85 FEET CUL-DE-SAC TURN-AROUND.
4. MINIMUM ROAD FRONTAGE: 40 FEET
5. MINIMUM DWELLING SIZE: 1,400 SQ FT
6. DENSITY:
OVERALL: 113 UNITS/78.374 AC. = 1.44
-UNIT 2, PHASE A: 11 UNITS/6.078 AC. = 1.81
NET DENSITY-GROSS DENSITY (NO FLOOD, POWER & GAS EASEMENT, OR R.O.W.)
7. MAXIMUM BUILDING HEIGHT: 35 FEET

GWINNETT COUNTY NOTES:

- 1. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY GWINNETT COUNTY OF ANY LAND DISTURBING ACTIVITY WITHIN THE PLANS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
2. A MINIMUM OF TWO (2) TREES, AT LEAST 2 INCHES IN DIAMETER SHALL BE PLACED OR PRESERVED ON EACH INDIVIDUAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PLANTED TREES SHALL BE A SPECIES LISTED IN APPENDIX "A" OF THE BUFFER, LANDSCAPE, AND TREE ORDINANCE.
3. RECREATION AREA TO BE DEEDED TO AND MAINTAINED BY A MANDATORY HOMEOWNER'S ASSOCIATION.
4. COMMON AREAS & OPEN SPACE AREA TO BE DEEDED TO AND MAINTAINED BY A QUALIFIED HOMEOWNER'S ASSOCIATION.
5. A SEPARATE BUILDING PERMIT SHALL BE OBTAINED FOR ALL RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT AND ALL RETAINING WALLS USED AS A DAM PRIOR TO CONSTRUCTION OF THE WALLS.
6. AN APPROVED RESIDENTIAL DRAINAGE (RDP) IS REQUIRED PRIOR ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "RDP". AN APPROVED HOLD AND RELEASE AFFIDAVIT IS REQUIRED ON THOSE LOTS LABELED "RDP" OR RESIDENTIAL DRAINAGE STUDY (RDS). AN ELEVATION CERTIFICATE IS REQUIRED ON LOTS LABELED "RDP-E" OR "RDS-E".
7. GWINNETT COUNTY DOES NOT ENFORCE PROTECTIVE COVENANTS. IT IS THE RESPONSIBILITY OF THE HOMEOWNERS TO ENSURE COMPLIANCE WITH THE PROTECTIVE COVENANTS.
8. PER ARTICLE 8, SECTION 8.2.b.6 OF THE DEVELOPMENT REGULATIONS, IT IS RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN ANY DETENTION FACILITY CONSTRUCTED ON THEIR PROPERTY AND TO ENSURE THE FACILITY IS FREE OF OBSTRUCTION, SILT OR DEBRIS.
9. GWINNETT COUNTY ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED SUBDIVISION PLAT.
10. STREAM BUFFER EASEMENTS ARE TO REMAIN IN A NATURAL AND UNDISTURBED CONDITION.
11. STRUCTURES ARE NOT ALLOWED IN DRAINAGE EASEMENTS.
12. THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE REQUIRES THAT A 25 FOOT BUFFER ADJACENT TO ALL STATE WATERS BE MAINTAINED (ARTICLE 4, SECTION 4.3, PARAGRAPH 15). AN EXCEPTION IS GRANTED TO HOMEOWNERS WHO PERFORM MINOR LAND DISTURBING ACTIVITIES SUCH AS HOME LANDSCAPING, HOME GARDENS, REPAIRS AND MAINTENANCE WORK (ARTICLE 3, SECTION 3.1, PARAGRAPH 3).
13. A RESIDENTIAL DRAINAGE PLAN OR RESIDENTIAL DRAINAGE STUDY SHALL BE REQUIRED TO BE APPROVED BY THE DEPARTMENT OF PLANNING AND DEVELOPMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "RDP" OR "RDS", RESPECTIVELY. PLEASE REFER TO THE GWINNETT COUNTY DEVELOPMENT REGULATIONS AND CONTACT THE GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT FOR FURTHER INFORMATION.
14. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNERS OF THE STORM WATER MANAGEMENT FACILITY TO KEEP THE ACCESS DRIVE FREE OF OBSTRUCTION AND TO MAINTAIN THE FACILITY FREE OF OBSTRUCTION, SILT AND DEBRIS, AND OPERATIONAL PURSUANT TO COUNTY REQUIREMENTS.
15. A HOUSE LOCATION PLAN SHALL BE REQUIRED TO BE APPROVED BY THE DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "HIP". A HOUSE LOCATION PLAN IS A SCALE DRAWING SUBMITTED BY THE BUILDER AT THE TIME OF PERMIT. IT IS NOT REQUIRED THAT THIS PLAN BE PREPARED BY A LAND SURVEYOR OR PROFESSIONAL ENGINEER. THE PURPOSE OF THIS PLAN IS TO ENSURE THAT THE HOUSE IS PROPERLY LOCATED ON THE LOT. PLEASE REFER TO THE GWINNETT COUNTY DEVELOPMENT REGULATIONS OR CONTACT THE GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT FOR FURTHER INFORMATION.
FINAL PLAT APPROVAL:
THE DIRECTOR OF THE DEPARTMENT OF PLANNING & DEVELOPMENT CERTIFIES THAT THIS PLAT COMPLIES WITH THE ZONING RESOLUTION AND THE DEVELOPMENT REGULATIONS, AND THAT IT HAS BEEN APPROVED BY ALL OTHER OPERATION COUNTY DEPARTMENTS, AS APPROPRIATE. THIS PLAT IS APPROVED SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE DEVELOPMENT PERFORMANCE AND MAINTENANCE AGREEMENT EXECUTED FOR THIS PROJECT BETWEEN THE OWNER AND GWINNETT COUNTY.
DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2006
FOR ORIGINAL SIGNATURES, SEE PB 128- PG 207
DIRECTOR
DEPARTMENT OF PLANNING & DEVELOPMENT

OPEN SPACE AND RECREATION AREA NOTES:

- TOTAL SITE AREA: 78.37 AC.
RECREATIONAL AREA REQUIRED DEVELOPED CONDITION = MIN. 3% OF TOTAL SITE: 78.37 AC. X 0.03 = 2.35 AC.
-TOTAL TO DATE DEVELOPED RECREATION AREA + OPEN SPACE = 5.415 AC.
-0% IN FLOODPLAIN.

PLANNING NOTES:

- 1. GWINNETT COUNTY ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED SUBDIVISION PLAT.
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7. MAXIMUM BUILDING HEIGHT: 35 FEET

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2006

FOR ORIGINAL SIGNATURES, SEE PB 128- PG 207

DIRECTOR
DEPARTMENT OF PLANNING & DEVELOPMENT

FINAL SURVEYOR'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENTS SHOWN HEREON, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST, AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 57,572 FEET AND AN ANGULAR ERROR OF 04" PER ANGLE POINT, AND WAS ADJUSTED USING LEAST SQUARES RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 386,036 FEET, AND CONTAINS A TOTAL OF 6.078 ACRES. THE EQUIPMENT USED TO OBTAIN THE BEAR AND ANGULAR MEASUREMENTS HEREIN WAS A LEICA CRA 1103 ROBOTIC.

BY: GA REGISTERED SURVEYOR NO. 2672 - EXPIRES 12-31-2012

INTERSECTION CORNER SIGHT DISTANCE

CORNER SIGHT DISTANCE FOR STREETS AND PRIVATE DRIVEWAYS UTILIZING 10 TIMES THE SPEED LIMIT.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED DRIVEWAY (S) FOR STONEHAVEN @ SUGARLOAF SUBDIVISION IS/ARE DESIGNED WITH ADEQUATE CORNER SIGHT DISTANCE FOR EACH DRIVEWAY/STREET APPROACHING A MINOR COLLECTOR OR MAJOR THROUGHFARE. THE REGULATED SPEED LIMIT IS 25 MILES PER HOUR. THE SIGHT DISTANCE IS 250+ FEET IN EACH DIRECTION OR TO THE END OF STREET. THE MINIMUM CORNER SIGHT DISTANCE FROM THE DRIVEWAY IS EQUAL TO OR EXCEEDS 10 TIMES THE REGULATED SPEED OF THE INTERSECTION STREET AS MEASURED FROM THE CENTER OF THE DRIVEWAY IN BOTH DIRECTIONS ALONG THE RIGHT-OF-WAY LINE OF THE INTERSECTION STREET (SECTION 9.7.4 OF THE GWINNETT COUNTY DEVELOPMENT REGULATIONS).

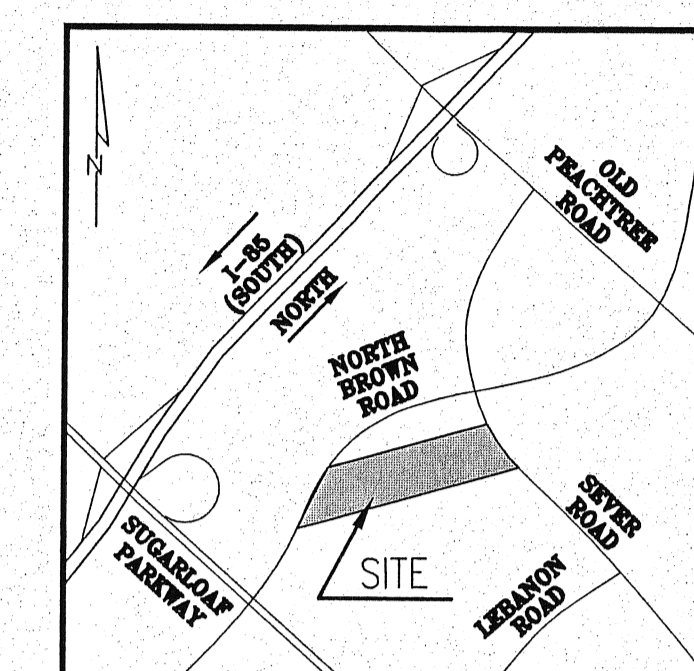
SIGNED AND SEALED DATE 6/15/12



Table with 2 columns: REVISION #, DATE. Includes revisions for DEVELOPMENT PLAN REVIEW, STORMWATER PLAN REVIEW, and WATER & SEWER PLAN REVIEW.

FINAL PLAT FOR: STONEHAVEN AT SUGARLOAF UNIT 2, PHASE A

FILED & RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY GA
DATE 6-15-12 TIME 10:51 AM
PLAT BOOK 129 PAGE 40
RICHARD T. ALEXANDER, JR., CLERK



LOT CHART table with columns: LOT NUMBER, AREA (S.F.), AREA (AC.), BLOCK, STREET ADDRESS, TAX NUMBER. Lists lots 48 through 111.

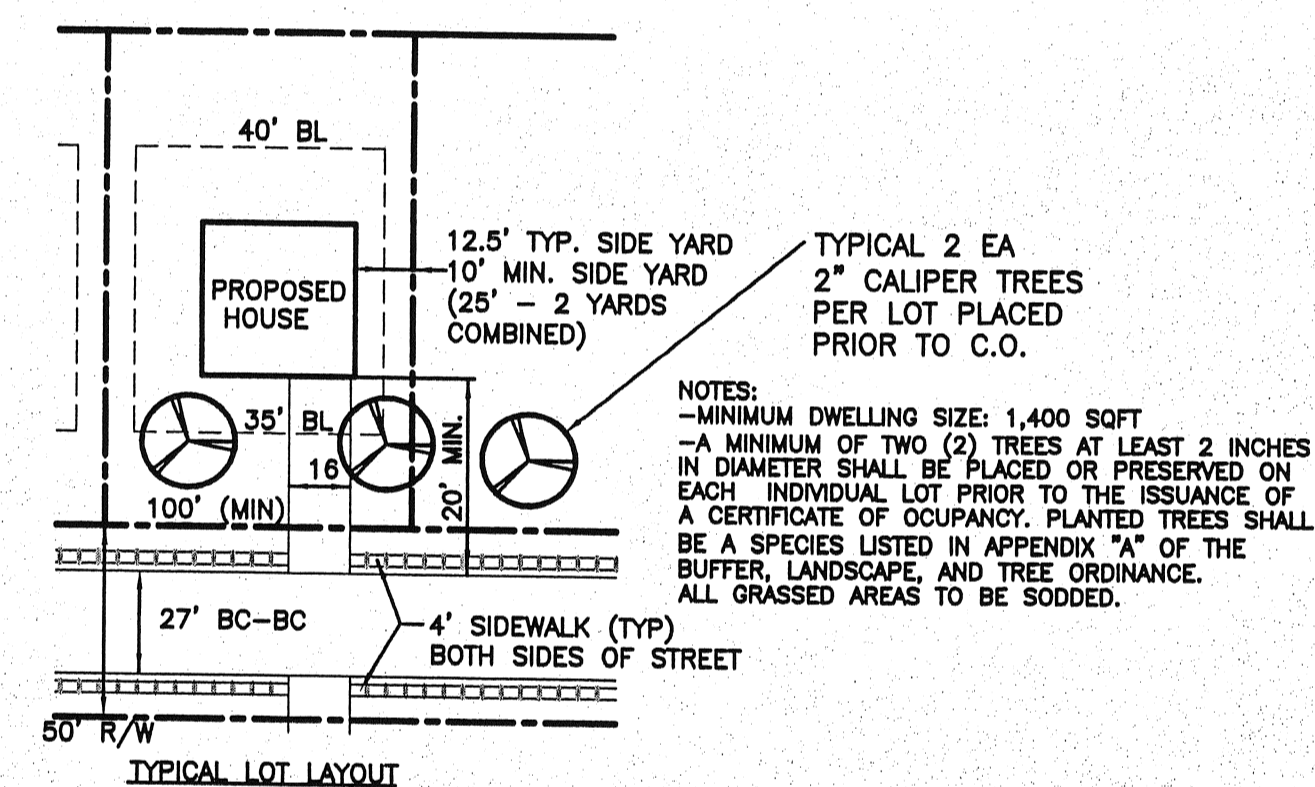
LINE CHART table with columns: LINE, DISTANCE, BEARING. Lists lines L1 through L6.

CURVE CHART table with columns: CURVE, ARC, RADIUS, CHORD, CHORD BEARING. Lists curves C1 and C2.

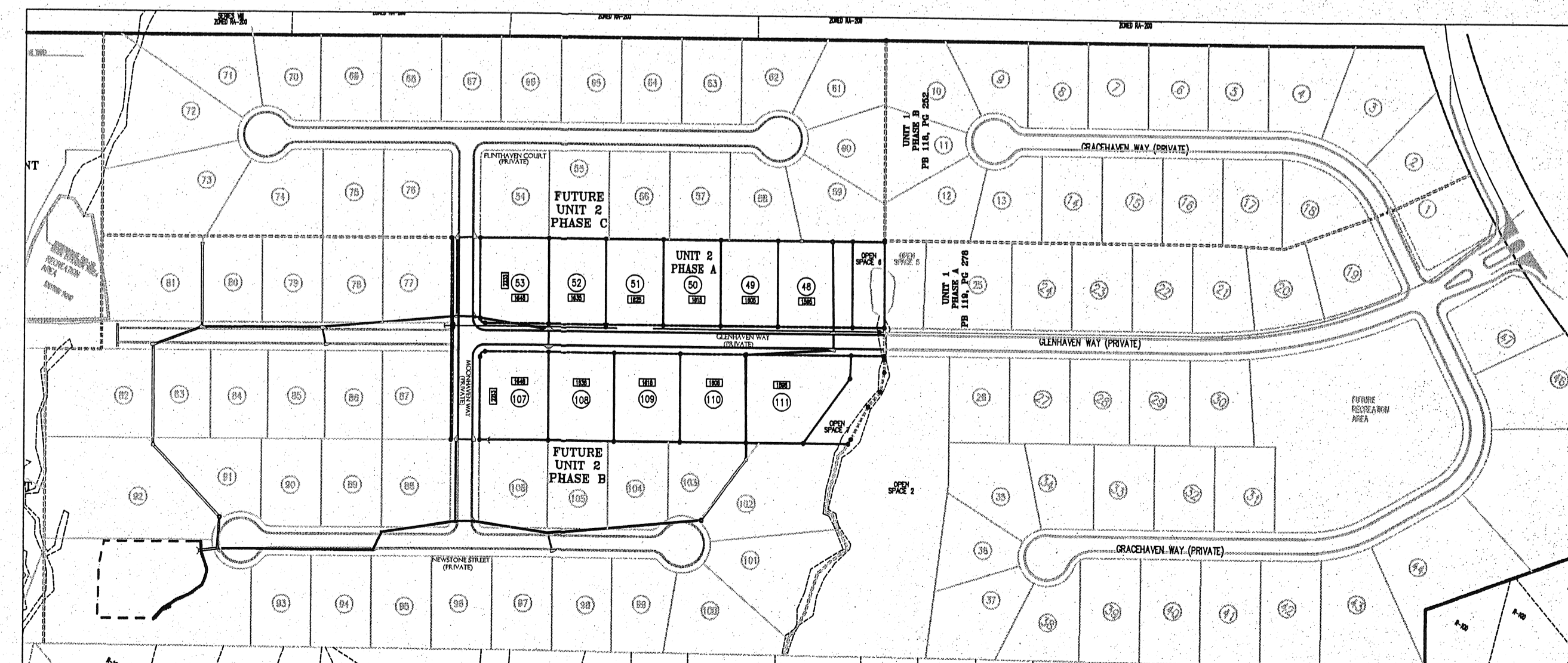
PROJECT DATA table containing general information, project data, lot & dwelling data, open space area, recreation area, density, and zoning cases.

STORM WATER PIPE CHART

STORMWATER @ SUGARLOAF table with columns: Pipe #, Mat., Location, Inlet Type, D.A. (Acres), c, Tc (Min), Q (cfs), Q (Sum) (cfs), Slope %, Lgh. +/- (ft.), Size (in), Vel. (fps), I (in/ft), Q (10) (cfs), Gutter Slope, Gutter Spread.



OWNER'S ACKNOWLEDGMENT AND DECLARATION: STATE OF GEORGIA, COUNTY OF GWINNETT. THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND DEDICATES BY THIS ACKNOWLEDGMENT AND DECLARATION TO THE USE OF THE PUBLIC FOREVER, ALL STREETS, SEWER COLLECTORS, LIFT STATIONS, DRAINS, EASEMENTS, AND OTHER PUBLIC FACILITIES AND APPURTENANCES THEREON SHOWN.



LOCATION OF UNIT 2 PHASE A WITHIN SUBDIVISION SCALE 1" = 200'

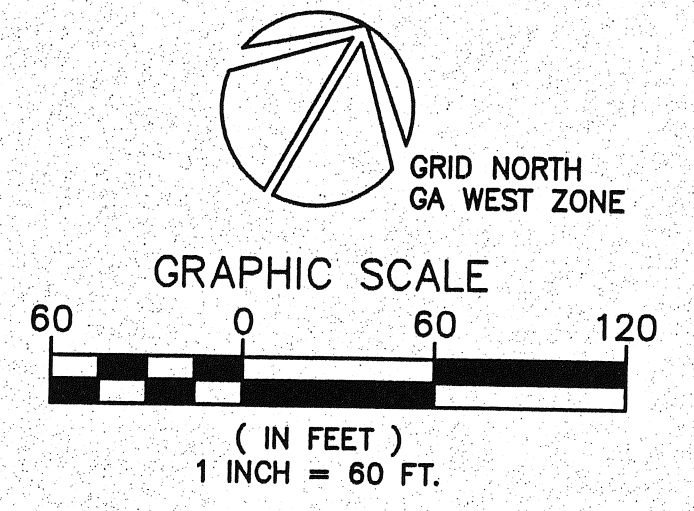
Professional Surveyor Seal for Chris Whitley, MDA (McFarland-Dyer & Associates), and John Wieland Homes and Neighborhoods. Includes project details: STONEHAVEN AT SUGARLOAF UNIT 2, PHASE A (AKA SEVER & BROWN ROAD TRACK), 1144 7TH DISTRICT GWINNETT COUNTY, GEORGIA. SHEET 1 OF 2.

LEGEND

ABBREVIATIONS

- UTILITY POLE (PP)
- GUY WIRE
- LIGHT POLE (LP)
- FLAG POLE (FP)
- FIRE HYDRANT (FH)
- SIGN
- JUNCTION BOX (JB)
- DROP INLET (DI)
- WATER VALVE (WV)
- ROOF DRAIN (RD)
- CLEAN OUT (CO)
- WATER METER (WM)
- SANITARY MANHOLE
- IRON PIN FOUND
- CONCRETE
- WALL
- HEAD WALL (HW)
- FENCE LINE
- TREE LINE
- HANDICAP RAMP
- CURB AND GUTTER

- INV INVERT ELEVATION
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- DIP DUCTILE IRON PIPE
- FFE FINISHED FLOOR ELEVATION
- TBM TEMPORARY BENCHMARK
- GV GAS VALVE
- UGCM UNDERGROUND CABLE MARKER
- GLM GAS LINE MARKER
- WLM WATER LINE MARKER
- PB PLAT BOOK
- DB DEED BOOK
- N/F NOW OR FORMERLY
- SSMH SANITARY SEWER MANHOLE
- DWCB DOUBLE WING CATCH BASIN
- SWCB SINGLE WING CATCH BASIN
- FES FLARED END SECTION
- CONC CONCRETE

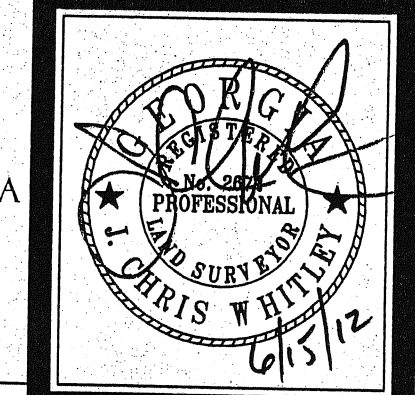
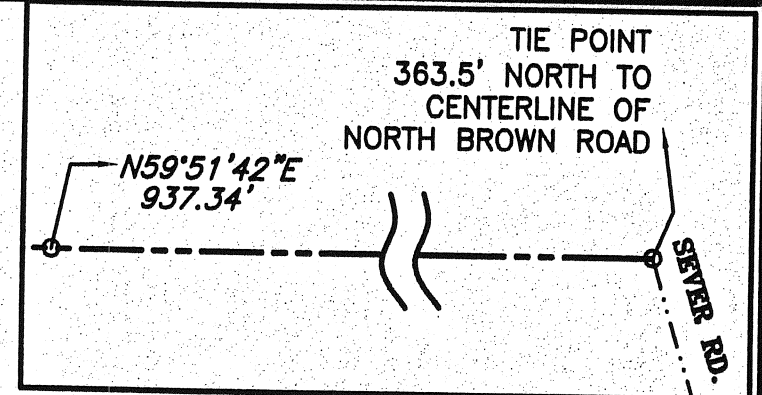


N/F PRESBYTERIAN CH.  
IN AMERICA  
ZONED RA-200

N/F PRESBYTERIAN CH.  
IN AMERICA  
ZONED RA-200

FILED & RECORDED  
CLERK SUPERIOR COURT  
GWINNETT COUNTY GA  
DATE 6-18-12 TIME 10:55 AM  
PLAT BOOK 179 PAGE 39  
RICHARD T. ALEXANDER, JR., CLERK

N/F PRESBYTERIAN CH.  
IN AMERICA  
ZONED RA-200



**MDA**  
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*John Wieland*  
**JOHN WIELAND HOMES  
AND NEIGHBORHOODS**  
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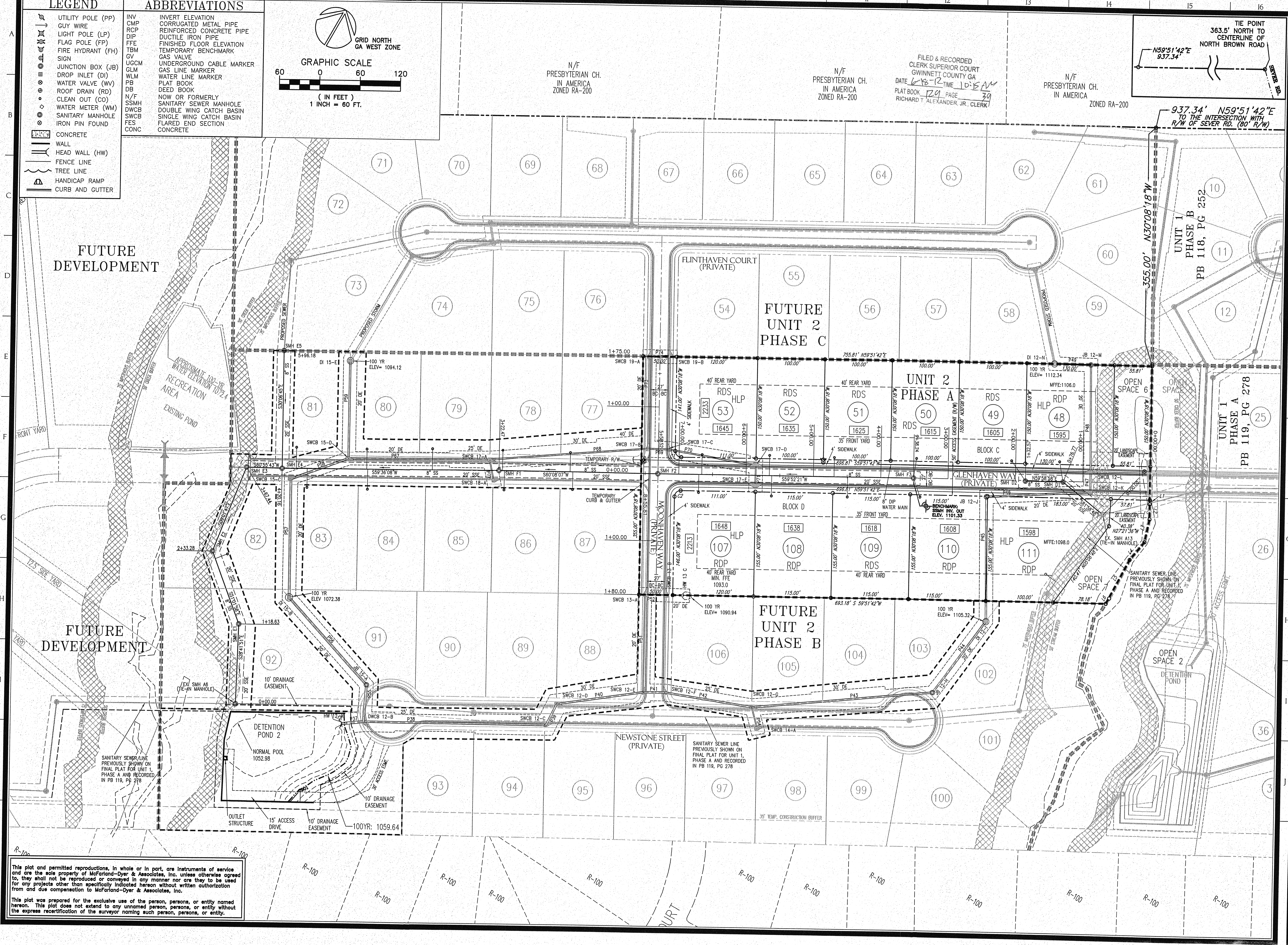
DESCRIPTION	DATE
FINAL PLAT	2-10-11
FINAL PLAT REVISION	6-15-2012

JOB NO. 05-0714  
DRAWN BY: MP  
CHECKED BY: JCV  
SURVEYED BY: CD

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MCFARLAND-DYER  
& ASSOCIATES, INC.

SURVEY FOR:  
**STONEHAVEN AT SUGARLOAF  
UNIT 2, PHASE A**  
(AKA SEVER & BROWN ROAD TRACKS)  
11.14.7TH DISTRICT  
GWINNETT COUNTY, GEORGIA

FINAL PLAT  
SHEET 2 OF 2



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