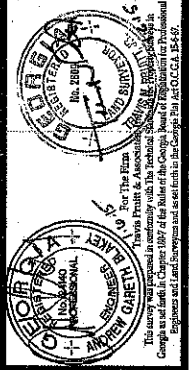


DATE: 10/17/2017
 SCALE: 1" = 200'
 LEV: OVERALL SITE PLAN
 CNI: 120017
 JMI: 120017, 265.1, 2A-PP
 FNS: 116-C-2621
 SHEET 2 OF 4

Overall Site Plan/Address-Layout Page
BRIDLETON NORTH
PHASE II, UNIT A
 LAND LOT 127A, 2ND DISTRICT, 1ST SECTION, FORSYTH COUNTY, GA
 1:00 0 200 400 600 800
 GRAPHIC SCALE 4" = 100' IN FEET



4317 Park Drive, Suite 400
 Norcross, Georgia 30093
 Phone: (770) 416-5111 Fax:
 (770) 416-6799
 www.travispruit.com
 Contact Person: Wayne A. Powers
 Certificate of Authorization Number 613

NO.	DATE	DESCRIPTION	BY
1	12/11/14	ADDRESS COUNTY COMMENTS	BB
2	1/6/15	ADD SITE BENCHMARK	BS
3			
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REVISIONS

GENERAL NOTES:

- 1. ALL IMPROVEMENTS TO CONFORM WITH FORSYTH COUNTY ORDINANCES AND SPECIFICATIONS, LATEST EDITION.
2. ALTA/ACSM LAND TITLE SURVEY FOR THE RYLAND GROUP AND FIRST AMERICAN TITLE INSURANCE CO. DATED FEBRUARY 23, 2012.
3. UTILITIES: WATER/SEWER SERVICE: FORSYTH COUNTY WATER & SEWER DEPARTMENT. SANITARY GAS: LIGHT POWER, SAMEE, LLC.
4. ALL STRUCTURES WILL COMPLY WITH THE REQUIREMENTS OF THE GEORGIA STATE MINIMUM BUILDING CODE, AS AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN THE FIELD SURVEY DISTANCE STANDARDS.
5. IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED COUNTY RIGHT-OF-WAY AND A LANDSCAPE BUFFER OF THIRTY FEET (30').
6. NO STRUCTURES, FENCES OR OTHER OBSTRUCTIONS SHALL BE PLACED WITHIN THE SANITARY GAS EASEMENT WITHOUT PRIOR APPROVAL FROM FORSYTH COUNTY DEPARTMENT OF ENGINEERING.
7. STREET ENTRANCE MONUMENTS, IF PROVIDED, MUST BE IN PLACE FOUR TO THE APPROVAL OF A FINAL PLAT. RIGHT-OF-WAY.
8. REQUIRED LANDSCAPING MUST BE IN PLACE PRIOR TO THE APPROVAL OF A FINAL PLAT.
9. DEVELOPER HAS TO MAINTAIN MAINTENANCE FROM THE DATE OF SIGN OFF ON ALL SEWER INFRASTRUCTURE, INCLUDING PUMPING STATIONS, BEFORE COUNTY WILL PERMIT FROM THE CORPUS OF ENGINEERS PRIOR TO DISTURBING ANY JURISDICTIONAL WETLANDS. UNDESIRABLES ALLOWED IN SANITARY GAS EASEMENT AREAS SHALL BE REMOVED AFTER PERFORMING INSPECTION FOR REELS SHALL BE PERFORMED AFTER A SPECIFIC DRAINING SEASON FROM THE DATE OF FINAL SITE PLAN.
10. MAINTENANCE OF UNDERGROUND DRAINAGE QUANTITY FEATURES IS THE RESPONSIBILITY OF THE OWNER. THE OWNER AGREES TO PERFORM AN ANNUAL INSPECTION OF ALL UNDERGROUND DRAINAGE QUANTITY FEATURES AS SHOWN ARE. HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET (30.48 METERS) SHALL BE MAINTAINED TO THE CENTERLINE OF THE SANITARY GAS EASEMENT.
11. CONSTRUCTION WASTE AND/OR VEGETATIVE MATERIAL MAY NOT BE BURIED OR DUMPED AND MUST BE TAKEN TO A STATE APPROVED FACILITY.
12. THERE ARE NO STATE WATERS WITHIN 200 FEET OF THE SITE.
13. THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAS A CLASURE PRECISION OF ONE FOOT IN 10,000 FEET. AN ANGLE PRECISION OF 1" PER 10,000 FEET. ALL DISTANCES ARE MEASURED TO THE CENTERLINE OF THE SANITARY GAS EASEMENT UNLESS OTHERWISE NOTED.
14. A TRIMBLE 805 RECEIVED WITH NETWORK ADJUSTED BEAM. THE GEOMATIC INCORPORATED BEAM ADJUSTMENT WITH RESPECT TO THE BEAM CENTER POINT WAS 0.007". THIS PLAT HAS BEEN CALCULATED PER CLASURE AND IS FOUND TO BE ACCURATE WITHIN ONE TENTH IN 10,000 FEET.

DEVELOPMENT DATA

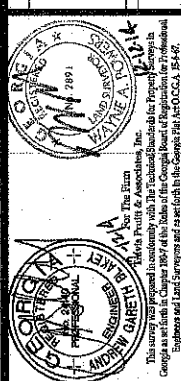
TAX PARCEL ID: 102-001
LOCATED IN A PORTION OF 102-001
SITE AREA:
OVERALL: 8.93 ACRES (388,866 SF.)
LOTS: 7.92 ACRES (340,642 SF.)
RIGHT-OF-WAY: 0 ACRES (0 SF.)
RIGHT-OF-WAY: 1.11 ACRES (48,192 SF.)
ZONING: RES-3
BUILDING SETBACK LOT REQUIREMENTS:
15' (FROM RIGHT-OF-WAY) MINIMUM FRONT YARD
5' MINIMUM SIDE YARD
25' MINIMUM REAR YARD
50' EXTERIOR SETBACK
MIN. 20' BETWEEN STRUCTURES
LOTS 174-191 SHALL HAVE AN EXTERIOR IMPERVIOUS SCREED OF EIGHTY-FIVE FEET (85').
AN EXTERIOR BUFFER OF FIFTY FEET (50').
AND A LANDSCAPE BUFFER OF THIRTY FEET (30').
LOT SUMMARY:
TOTAL SITE: 19 SINGLE FAMILY RESIDENTIAL LOTS
MINIMUM LOT WIDTH = 65 FEET AT BUILDING LINE
DENSITY: PHASE II, UNIT A: 2.15 UNITS PER ACRE
PROPOSED STREET DIMENSIONS:
24' RIGHT OF WAY
12' CENTERLINE - ROW
30' CURB RADIUS
20' RIGHT OF WAY RADIUS
REQUIRED:
TOTAL SITE AREA (141.43 ACRES) x
% OPEN SPACE REQUIRED (15%) =
TOTAL OPEN SPACE REQUIRED (21,215 ACRES)
PROVIDED:
TOTAL OPEN SPACE PROVIDED (22,335 ACRES) / TOTAL
SITE AREA (141.43 ACRES) =
% OF SITE DEDICATED TO OPEN SPACE (20.22%)
BRIDLETON NORTH:
TOTAL OPEN SPACE NORTH = 13.22 ACRES
PHASE GREEN SPACE (ACRES)
1A-1 0.21
1B-1 3.59
1B-2 3.59
1B 10.48
2 2
BRIDLETON SOUTH:
TOTAL OPEN SPACE SOUTH = 14.73 ACRES
PHASE GREEN SPACE (ACRES)
1A 3.56
1B 5.22
2 5.22
STORMWATER AND AMENITY AREAS ARE NOT INCLUDED IN OPEN SPACE CALCULATIONS.

ZONING CONDITIONS

- 1. The applicant shall submit a site plan showing the proposed improvements and the location of all structures, including the location of all utility easements and the location of all proposed parking spaces.
2. The applicant shall submit a site plan showing the proposed improvements and the location of all structures, including the location of all utility easements and the location of all proposed parking spaces.
3. The applicant shall submit a site plan showing the proposed improvements and the location of all structures, including the location of all utility easements and the location of all proposed parking spaces.

DATE: 10/17/2014
SCALE: 1" = 50'
SPECIAL PLAT
CNI: 120017
JUL 12 2017 2:55:11 PM
PPL
ENR: 116-0-2821
SHEET 3 OF 14

Notes
BRIDLETON NORTH
PHASE II, UNIT A
LAND LOT 1274, 2ND DISTRICT 1ST SECTION, FORSYTH COUNTY, GA.



4317 Park Drive, Suite 400
Norcross, Georgia 30095
Phone: (770) 416-7511 Fax:
(770) 416-6759
www.travispruit.com
Contact Person: Wayne A. Powers
Certificate of Authorization Number 613

Table with 3 columns: NO., DATE, DESCRIPTION BY. Row 1: 1, 12/11/14, ADDRESS COUNTY COMMENTS, BS.

Description	Improvements					Clearing				
	B	C	D	E	F	B	C	D	E	F
Total Area in Acres (Total)	392,395	85,287	1,002,235	879,881	302,536	894,267	1,002,235	879,881	302,536	879,881
Percent Improved	60%	30%	53%	53%	50%	70%	50%	50%	50%	50%
Area Available for Development	181,384	409,429	500,667	511,816	241,845	694,091	500,667	511,816	241,845	694,091
Area Available for Development (with 1.2 to 1 Credit*)	181,384	409,429	500,667	511,816	241,845	694,091	500,667	511,816	241,845	694,091
Total Available for Development	181,384	409,429	500,667	511,816	241,845	694,091	500,667	511,816	241,845	694,091
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Description	Improvements					Clearing				
	B	C	D	E	F	B	C	D	E	F
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Description	Improvements					Clearing				
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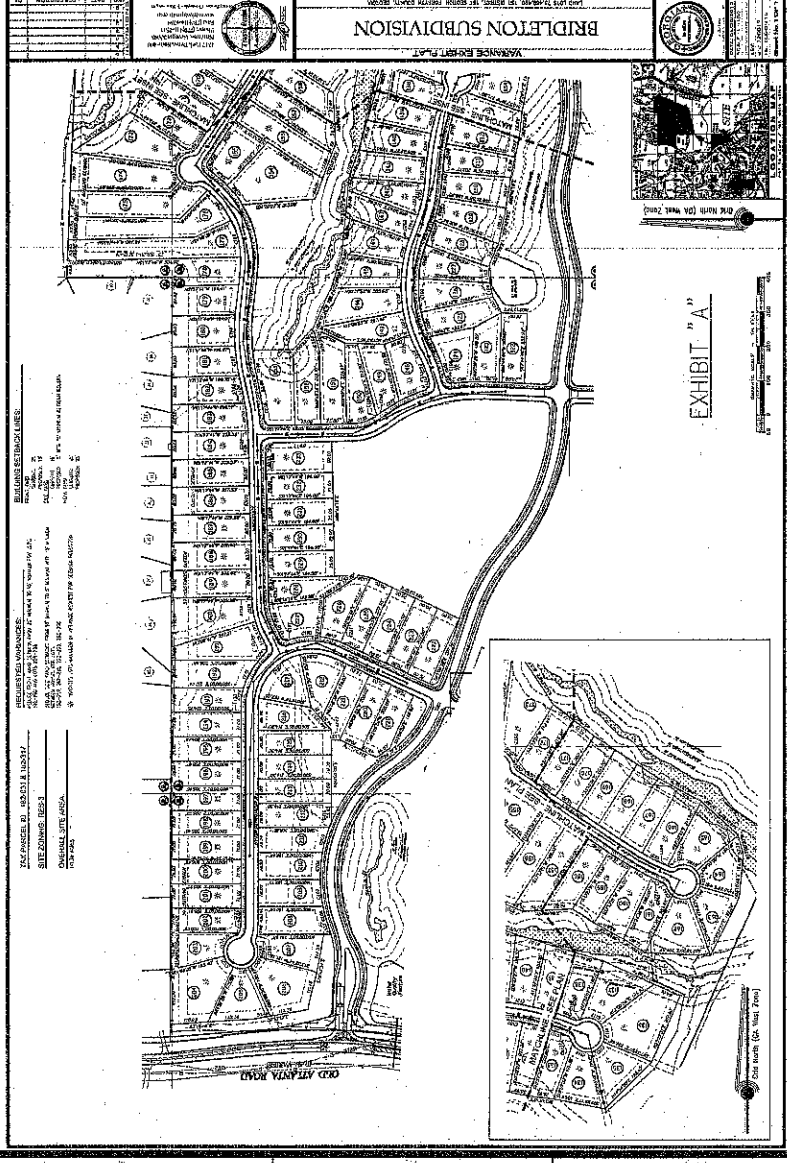
MRPA NOTE
AS MITIGATION FOR OVER-CLEARING IN MRPA ZONE "D", SPECIMEN TREES WERE PLANTED ON THE PROJECT. THE PLANTING OF THE TREES IS A REQUIREMENT OF THE GEORGIA MOUNTAIN REGIONAL COMMISSION AS WELL AS FORSTYH COUNTY. THE TREES ARE NOT TO BE DISTURBED WITHOUT WRITTEN CONSENT FROM FORSTYH COUNTY.

ZONING CONDITIONS NOTES
1. ALL LOTS ADJACENT TO RESIDENTIAL LOTS LOCATED IN THE OLDE ATLANTA CLUB SUBDIVISION SHALL BE A MINIMUM OF 16,500 SQUARE FEET AND A MINIMUM OF EIGHTY FEET (80') WIDE AT THE BUILDING LINE. THIS REQUIREMENT APPLIES TO LOT 192 PER ZONING CONDITION AMENDMENT NUMBER 15.
2. THE DEVELOPER SHALL USE A VARIETY OF TECHNIQUES TO AVOID THE MONOTONOUS APPEARANCE OF A SUBDIVISION. THESE TECHNIQUES MAY INCLUDE THE USE OF DEFERRING FROM ELEVATIONS, ARCHITECTURAL STYLES, BUILDING EXTERIOR COLORS OR OTHER SIMILAR TECHNIQUES TO PROVIDE A MORE PLEASANT APPEARANCE TO THE SUBDIVISION. NO WHITE SIDING SHALL BE ALLOWED. THE FRONT EXTERIOR OF ALL HOMES SHALL BE OF A QUALITY MATERIAL. MATERIAL SHALL BE MATCHED TO THE ADJACENT TO, HARDY-BLANK (25%) OF A GENUINO-TYPE MATERIAL. SUCH AS, NOT NOT LIMITED TO, HARDY-BLANK (25%).
3. THERE SHALL BE NO PRIVACY FENCES ALLOWED ON ANY LOTS THAT ARE ADJACENT TO RESIDENTIAL LOTS IN THE OLDE ATLANTA CLUB SUBDIVISION.

DATE: 10/17/2014
SCALE: 1" = 50'
LSV: FINAL PLAT
EN: 128017
JAN: 120017, 265.1, 267
FN: 116-C-2821
SHEET 4 OF 14

BRIDLETON NORTH
PHASE II, UNIT A

LAND LOT 1724, 2ND DISTRICT, 1ST SECTION, FORSTYH COUNTY, GA



BRIDLETON SUBDIVISION

FORSTYH COUNTY, GEORGIA

1. This plan is submitted in accordance with the provisions of the Georgia Subdivision Control Act, Chapter 101-2, Official Code of Georgia Annotated (OCGA), and the rules and regulations of the Georgia State Board of Survey, Chapter 101-2-1, Official Code of Georgia Annotated (OCGA).
2. The owner of the land shown on this plan is Travis Pruitt, a duly licensed Professional Engineer, State of Georgia, License No. 527.
3. The owner of the land shown on this plan is Travis Pruitt, a duly licensed Professional Engineer, State of Georgia, License No. 527.
4. The owner of the land shown on this plan is Travis Pruitt, a duly licensed Professional Engineer, State of Georgia, License No. 527.

This subdivision is subject to the following conditions:
1. The subdivision is subject to the provisions of the Georgia Subdivision Control Act, Chapter 101-2, Official Code of Georgia Annotated (OCGA), and the rules and regulations of the Georgia State Board of Survey, Chapter 101-2-1, Official Code of Georgia Annotated (OCGA).
2. The subdivision is subject to the provisions of the Georgia Subdivision Control Act, Chapter 101-2, Official Code of Georgia Annotated (OCGA), and the rules and regulations of the Georgia State Board of Survey, Chapter 101-2-1, Official Code of Georgia Annotated (OCGA).
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4. The subdivision is subject to the provisions of the Georgia Subdivision Control Act, Chapter 101-2, Official Code of Georgia Annotated (OCGA), and the rules and regulations of the Georgia State Board of Survey, Chapter 101-2-1, Official Code of Georgia Annotated (OCGA).

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	12/11/14	ADDRESS COUNTY COMMENTS	BS
2			
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COPY
Engraving Department of Planning and Development
1115 S.W. 15th Street, Suite 400, Ft. Lauderdale, FL 33304
Phone: (954) 416-7511 Fax: (954) 416-7512

4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770) 416-7511 Fax: (770) 416-6759
www.travispruit.com

Contact Person: Wayne A. Powers
Certificate of Authorization Number 613

FORSTYH COUNTY, GEORGIA

LAND LOT 1724, 2ND DISTRICT, 1ST SECTION, FORSTYH COUNTY, GA

BRIDLETON NORTH
PHASE II, UNIT A

DATE: 10/17/2014
SCALE: 1" = 50'
LSV: FINAL PLAT
EN: 128017
JAN: 120017, 265.1, 267
FN: 116-C-2821
SHEET 4 OF 14

Line #	Direction	Length
CL100	N62°50'58"E	79.84'
CL101	N88°42'16"E	466.13'
CL102	N17°44'W	263.26'

Curve #	Radius	Length	Chord Length	Chord Direction
CL200	190.00'	85.74'	85.01'	N75° 46' 37"E
CL201	536.00'	92.22'	92.11'	N63° 46' 32"E

Line #	Length	Direction
L1	37.06'	N62°50'58"E
L2	8.53'	N88°42'16"E
L3	80.00'	N88°42'16"E
L4	80.00'	N89°42'16"E
L5	80.00'	N88°42'16"E
L6	80.00'	N88°42'16"E
L7	80.00'	N88°42'16"E
L8	73.01'	N88°42'16"E
L9	69.65'	S17°44'E
L10	75.00'	S17°44'E
L11	75.00'	S17°44'E
L12	174.00'	N17°44"W
L13	70.00'	S88°42'16"W
L14	75.00'	S88°42'16"W
L15	75.00'	S88°42'16"W
L16	75.00'	S88°42'16"W
L17	75.00'	S88°42'16"W
L18	61.67'	S88°42'16"W
L19	32.35'	S62°50'58"W

Curve #	Radius	Length	Chord Length	Chord Direction
C1	207.00'	24.91'	24.89'	S45° 02' 23"E
C2	20.00'	26.37'	24.50'	S79° 22' 17"E
C3	235.00'	41.18'	41.12'	N67° 52' 08"E
C4	235.00'	64.87'	64.66'	N60° 47' 48"E
C5	511.00'	6.99'	6.99'	N88° 18' 45"E
C6	511.00'	80.43'	80.34'	N83° 24' 41"E
C7	567.89'	69.41'	69.37'	S81° 10' 20"W
C8	20.00'	30.01'	27.27'	S41° 41' 21"W
C9	20.00'	31.42'	28.28'	N46° 17' 44"W
C10	185.00'	15.85'	15.84'	S86° 15' 01"W
C11	185.00'	67.63'	67.26'	S73° 19' 22"W
C12	20.00'	28.46'	28.12'	S22° 04' 42"W
C13	207.00'	92.06'	91.30'	S5° 57' 08"E
C14	207.00'	82.73'	82.18'	N30° 08' 34"W

NO.	DATE	DESCRIPTION	BY
1	18/11/14	ADDRESS COUNTY COMMENTS	BS
2			
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4377 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770) 416-7511 Fax:
(770) 416-6759
www.travispruit.com

Contact Person: Wayne A. Powers
Certificate of Authorization Number 613



For The Firm
Travis Pruitt & Associates, Inc.
This Seal is valid in Charge 880 of the Rules of the Georgia Board of Registration in Professional
Engineering and Land Surveying and as set forth in the Georgia Public Act 00-0-34-42.

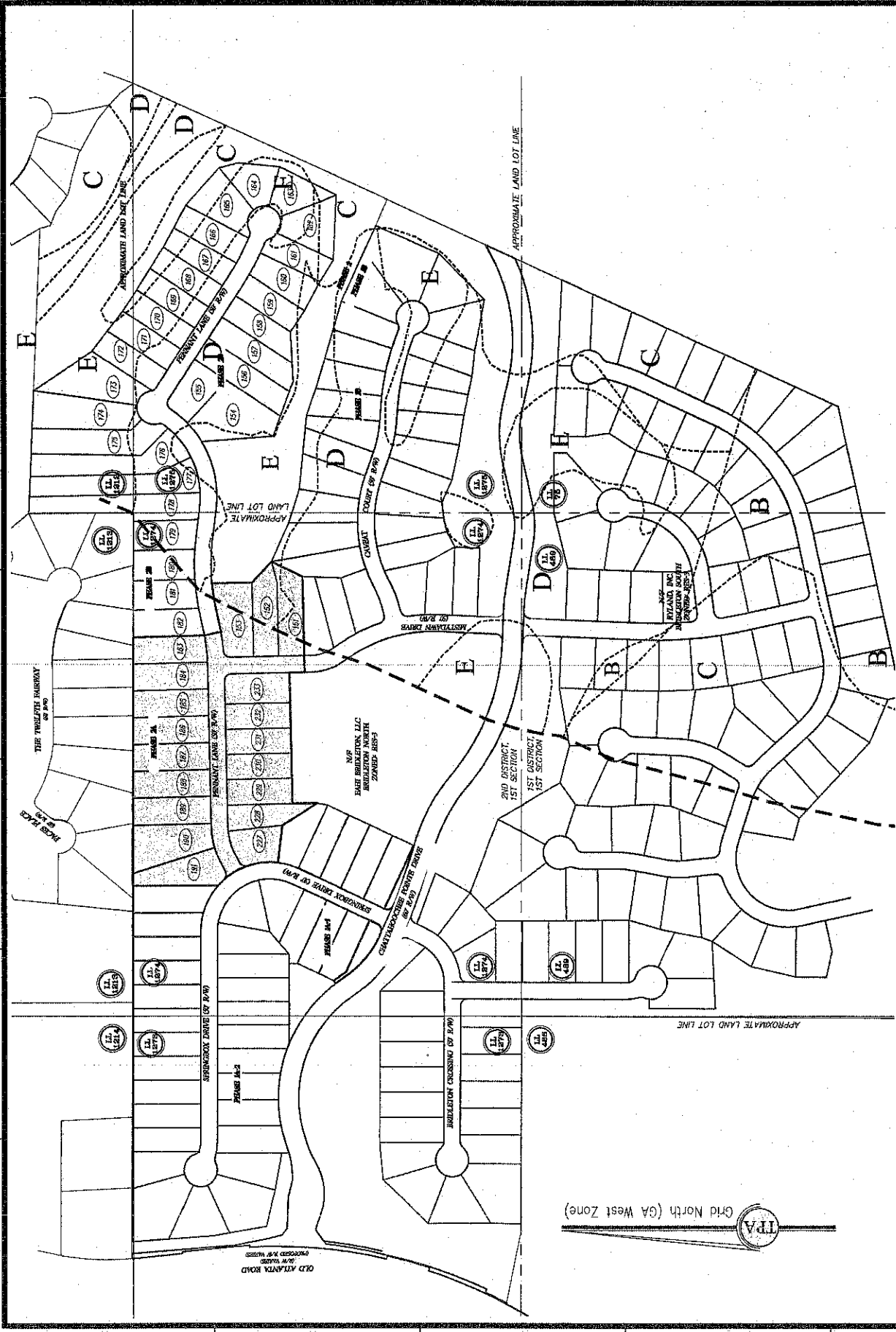


Data Table

BRIDLETON NORTH
PHASE II, UNIT A

LAND LOT 1274, 2ND DISTRICT, 1ST SECTION, FORESTH COUNTY, GA

DATE: 10/17/2014
SCALE: N/A
LS: FINAL PLAT
EN: 120017
JN: 120017, 265.1, 2A-PF
FN: 116-D-262.1
SHEET 5 OF 14



DATE: 10/17/2014
 SCALE: 1" = 50'
 LEV: MRPA
 CNI: 120017
 JN: 120017-255-1-2A-PF
 FNL: 16-C-2821
 SHEET: 6 OF 14

MRPA Map
BRIDLETON NORTH
PHASE II, UNIT A
 LAND LOT 1274, 2ND DISTRICT, 1ST SECTION, FORSYTH COUNTY, GA
 100' 0" 200' 0" 400' 0" 600' 800'
 GRAPHIC SCALE

FOR THE PLAN
 I have prepared the technical standards for Preparation and Submission to the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Act O.C.G.A. 47-5-42.

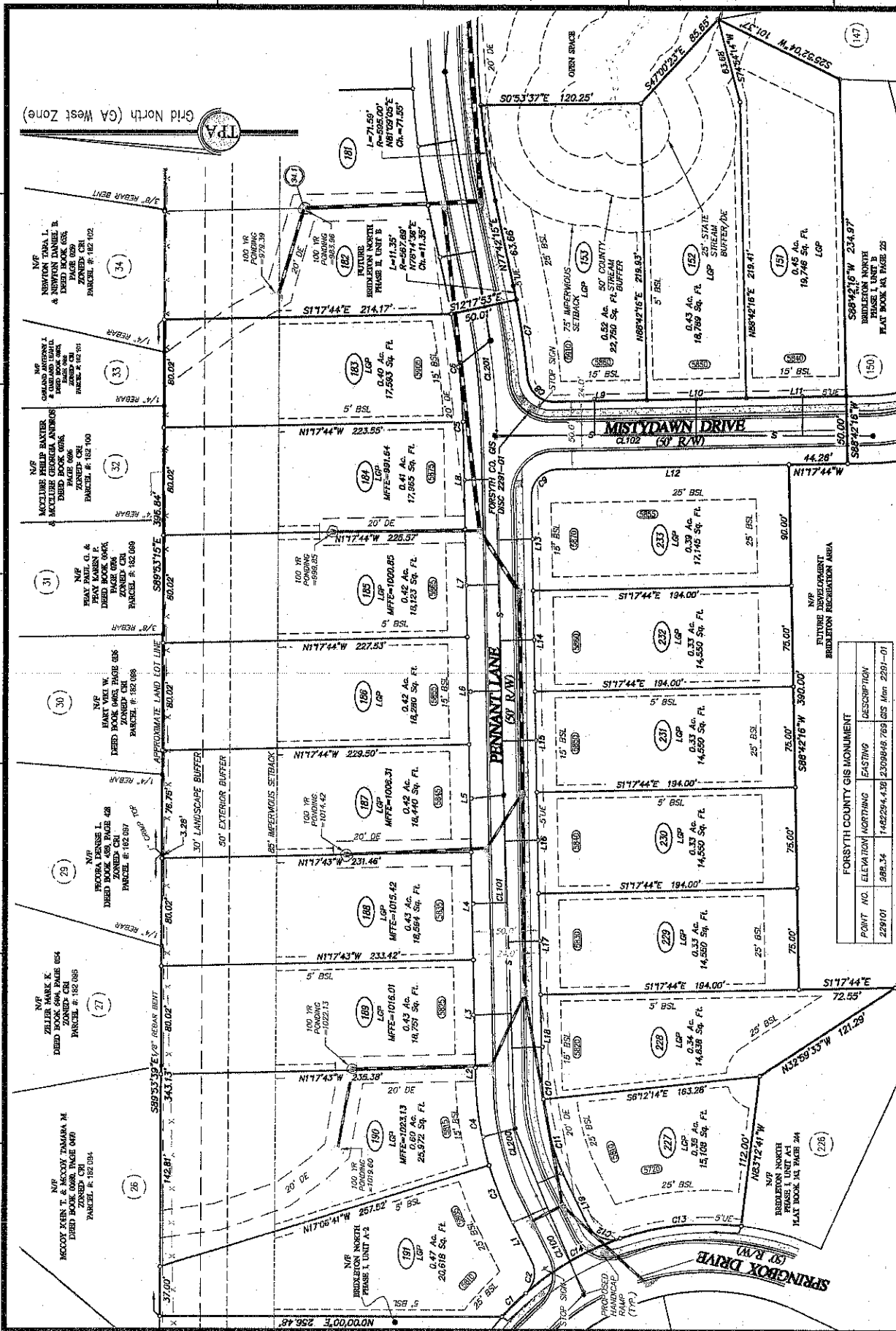
FOR THE PLAN
 I have prepared the technical standards for Preparation and Submission to the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Act O.C.G.A. 47-5-42.

4317 Park Drive, Suite 400
 Norcross, Georgia 30093
 Phone: (770) 416-7311 Fax:
 (770) 416-6759
 www.travisprutt.com

Contact Person: Wayne A. Powers
 Certificate of Authorization Number 613

NO.	DATE	DESCRIPTION	BY
1	12/11/14	ADDRESS CORRECTED	BB
2			
3			
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REVIEWS



Final Subdivision Plat

BRIDLETON NORTH PHASE II, UNIT A

AND LOT 1274, 2ND DISTRICT, 1ST SECTION, FORSYTH COUNTY, GA

DATE: 10/17/2014
SCALE: 1" = 50'
LEV: FINAL PLAT
CEN: 128017
EN: 116-C-2821
SHEET 7 OF 14

FORSYTH COUNTY GIS MONUMENT

POINT NO.	ELEVATION	NORTHING	EASTING	DESCRIPTION
229101	988.34	1482294.438	2309848.789	GS Mon 2291-01

FOR THE PLAT

Travis Pruitt
Associates, Inc.

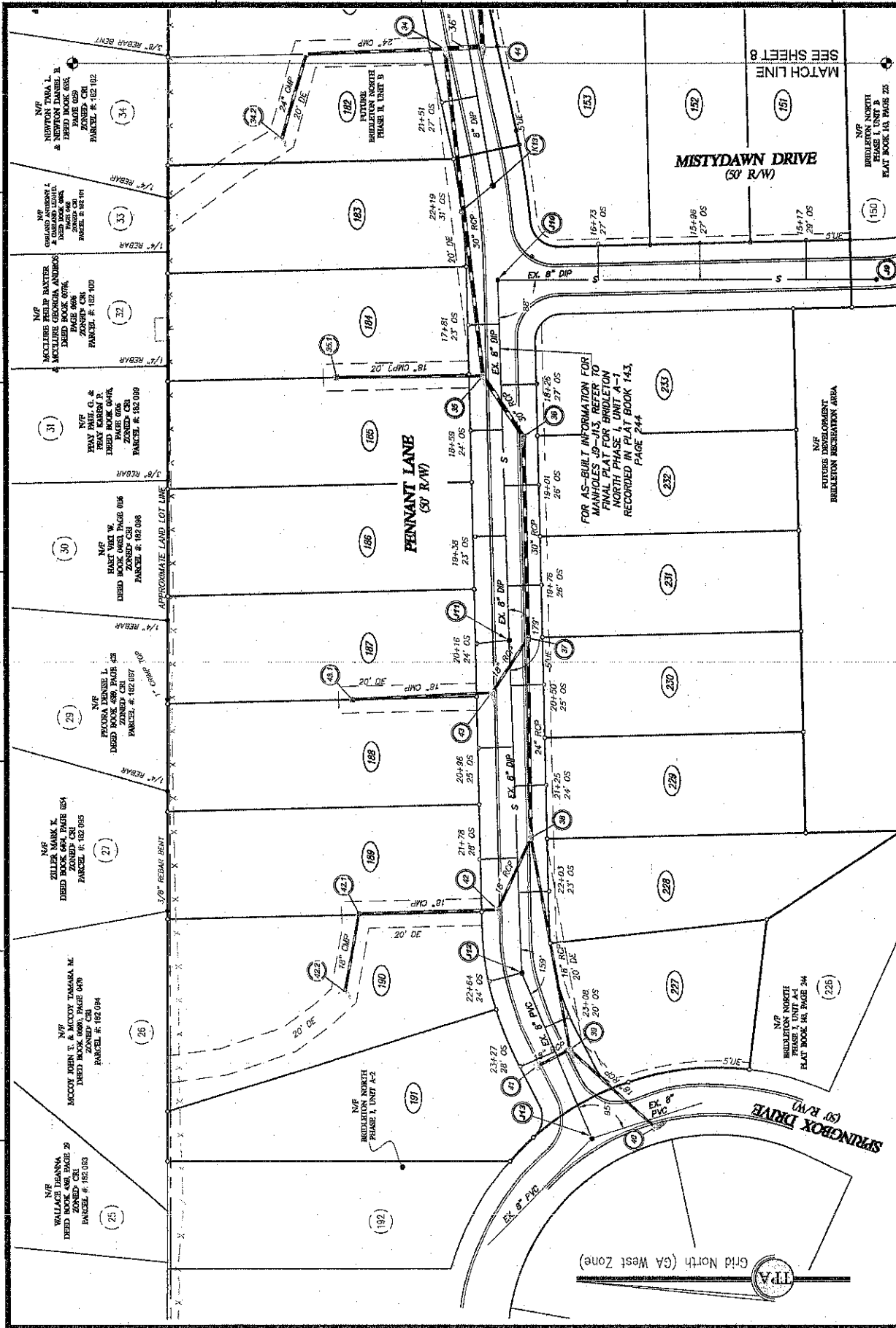
Professional Engineer
No. 2894

4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770) 416-7511 Fax:
(770) 416-6759
www.travispruitt.com

Contact Person: Wayne A. Poyens
Certificate of Authorization Number 613

NO.	DATE	DESCRIPTION	BY
1	12/11/14	ADDRESS COUNTY COMMENTS	BE
2			
3			
4			
5			
6			
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REVISONS



DATE: 10/17/2014
 SCALE: 1" = 50'
 E.V.: SAN/AS
 C.N.: 120017
 J.N.: 120017, 265.1, 2A, 7P
 F.N.: 1116-C-2821
 SHEET 8 OF 14

Sanitary Sewer As-Built Plan
BRIDLETON NORTH
PHASE II, UNIT A
 LAND LOTS 1212, 1274 & 1275, 2ND DIST. 1ST SECT. FORSYTH COUNTY, GA
 25 0 40 GRAPHIC SCALE 1" = 50' 200
 150 IN FEET

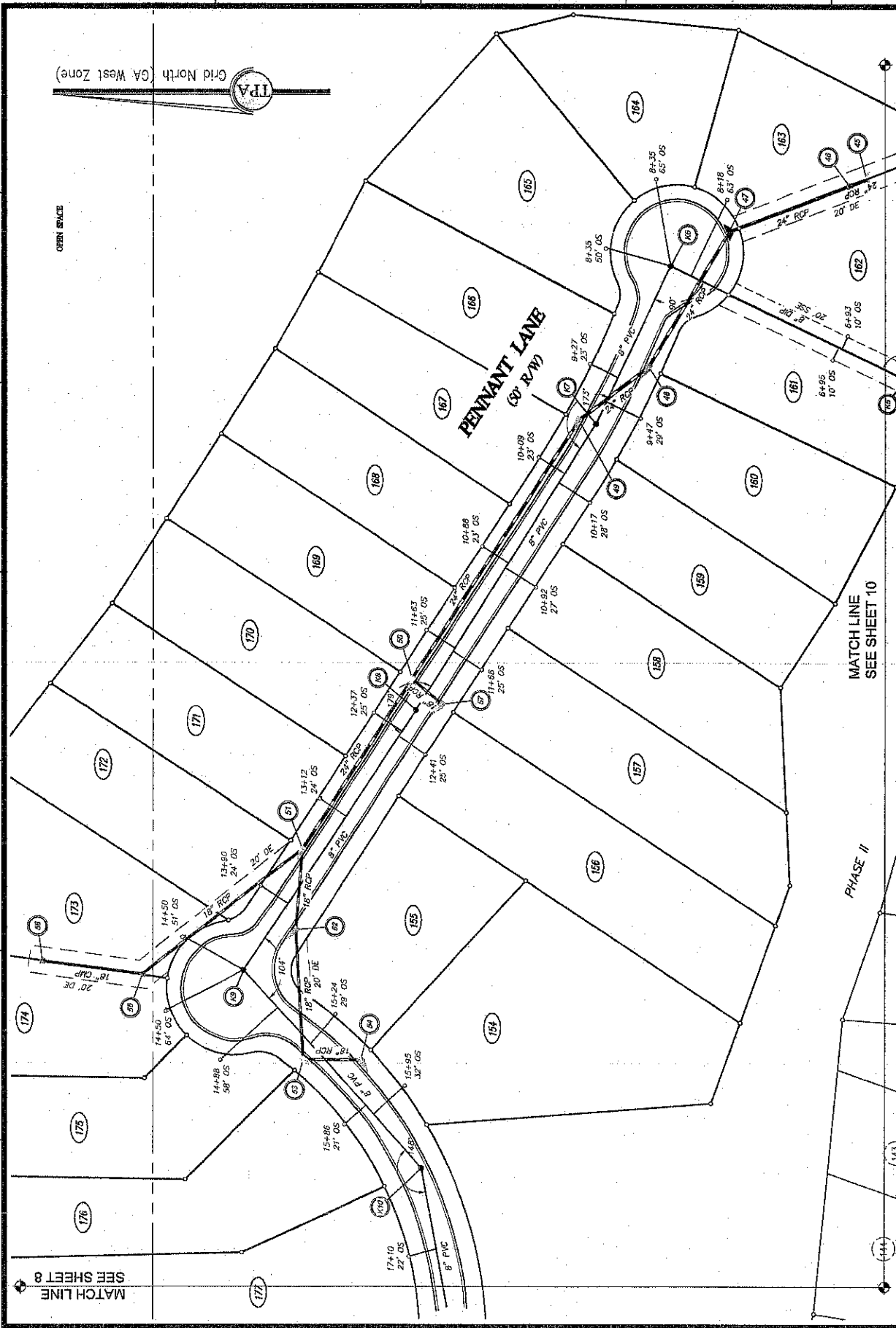
FOR THE ERM
 Travis Pruitt & Associates, Inc.
 4317 Park Drive, Suite 400
 Norcross, Georgia 30093
 Phone: (770) 416-7511 Fax:
 (770) 416-6759
 www.travispruitt.com

Professional Engineer
 State of Georgia
 License No. 2891

Travis Pruitt
 Associates, Inc.
 4317 Park Drive, Suite 400
 Norcross, Georgia 30093
 Phone: (770) 416-7511 Fax:
 (770) 416-6759
 www.travispruitt.com

Professional Engineer
 State of Georgia
 License No. 2891

NO.	DATE	DESCRIPTION	BY
1	12/1/14	ADDRESS COUNTY COMMENTS	BB
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TPA
Grid North (GA West Zone)



OPEN SPACE

PENNANT LANE
(30' R/W)

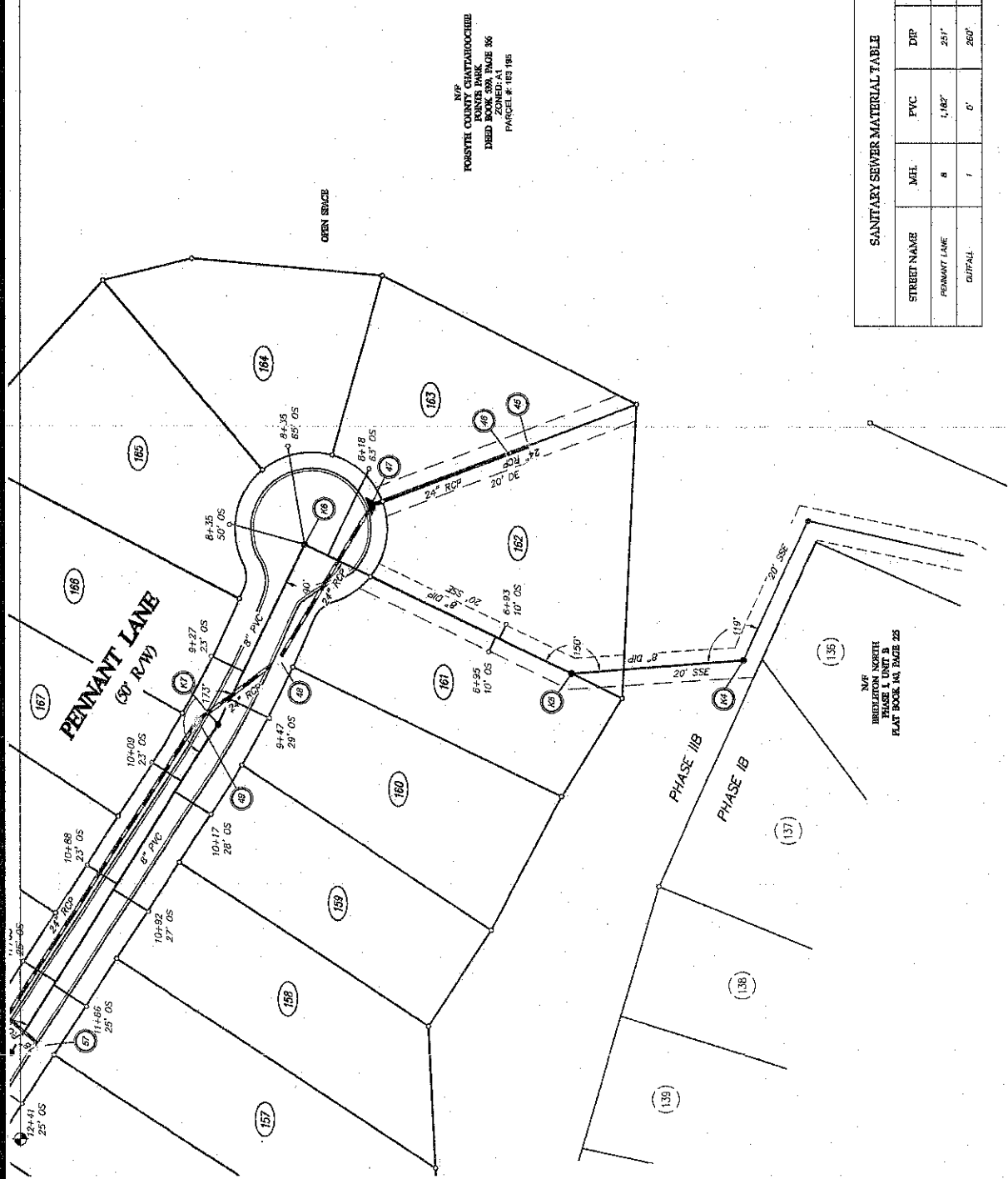
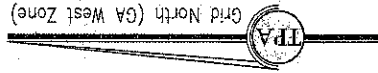
MATCH LINE
SEE SHEET 10

PHASE II

MATCH LINE
SEE SHEET 8

DATE: 10/17/2014 SCALE: 1" = 50' LEV: SAN-AB CN: 120017 JN: 120017.005.1.0A.FP FN: 116-C-2B21 SHEET 10 OF 14	
Sanitary Sewer As-Built Plan BRIDLETON NORTH PHASE II, UNIT A LAND LOTS 1212, 1272 & 1275, 2ND DIST., 1ST SECT., FORSYTH COUNTY, GA GRAPHIC SCALE 100 IN FEET 25 0 200	
	
	
6317 Park Drive, Suite 400 Norcross, GA 30092 Phone: (770) 415-7511 Fax: (770) 415-6759 www.tasurveyllc.com Contact Person: Wayne A. Powers Certificate of Authorization Number 013	
NO. DATE DESCRIPTION BY 1 10/17/14 ADDRESS COUNTY COMMENTS: BS	REVISIONS

MATCH LINE
SEE SHEET 9



N/P
FORSTH COUNTY DAUNDOCHIE
PUNKS PARK
DEED BOOK 39A PAGE 36
ZONED: A1
PARCEL # 103 195

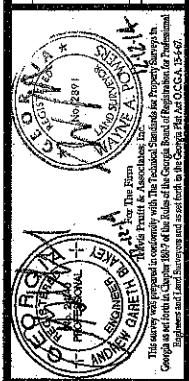
OPEN SPACE

SANITARY SEWER MATERIAL TABLE

STREET NAME	M.H.	FVC	DP	TOTAL
PENNANT LANE	6	1,82'	23'	1,43'
CUTFALL	1	0'	260'	260'

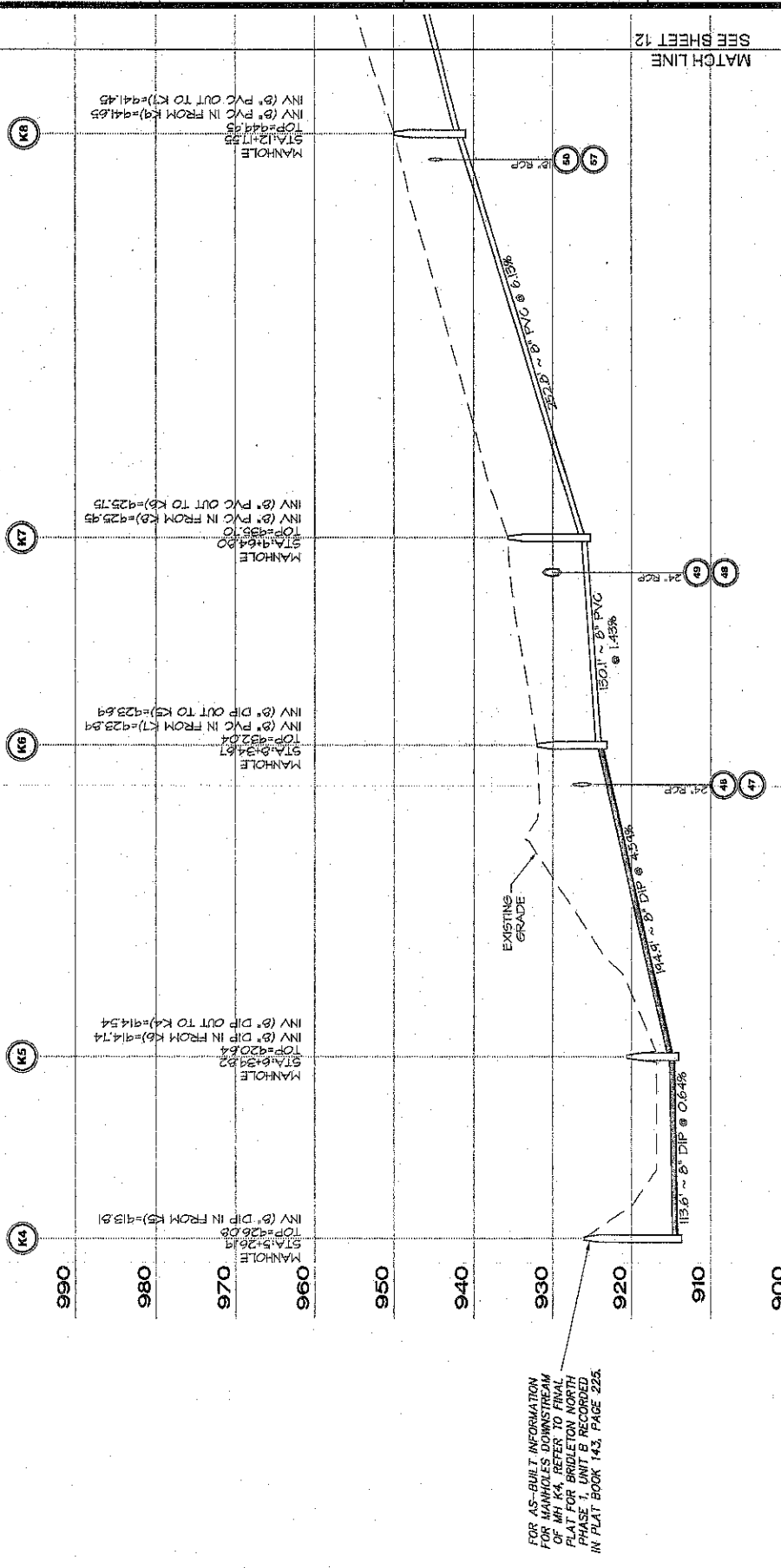
DATE: 10/17/2014
SCALE: 1" = 50'
LEV: SAN-AB
SNN: 128B17
JIN: 120017, 255.1, 2A-FP
FN: 116-D-2821
SHEET 11 OF 14

Sanitary Sewer As-Built Plan
**BRIDLETON NORTH
PHASE II, UNIT A**
LAND LOTS 1212, 1274, & 1275, 2ND DISTRICT SECT. FORSTH COUNTY, GA
25 0' GRAPHIC SCALE 1" = 100' IN FEET 1:50 200



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Norcross, Georgia 30093
Phone: (770) 416-7511 Fax:
(770) 416-6759
www.travisfruit.com
Contact Person: Wayne A. Powes
Certificate of Authorization Number 613

NO.	DATE	DESCRIPTION	BY
1	12/11/14	ADDRESS COUNTY COMMENTS	EE
2			
3			
4			
5			
6			
7			
8			



MANHOLE
 STA. 426.08
 TOP = 426.08
 INV (2) DIP IN FROM (5) = 413.21

MANHOLE
 STA. 434.82
 TOP = 420.64
 INV (2) DIP IN FROM (6) = 414.74
 INV (2) DIP OUT TO (4) = 414.54

MANHOLE
 STA. 437.81
 TOP = 422.84
 INV (2) DIP IN FROM (7) = 423.84
 INV (2) DIP OUT TO (5) = 423.75

MANHOLE
 STA. 444.80
 TOP = 425.95
 INV (2) DIP IN FROM (8) = 425.95
 INV (2) DIP OUT TO (6) = 425.75

MANHOLE
 STA. 447.80
 TOP = 428.15
 INV (2) DIP IN FROM (9) = 428.15
 INV (2) DIP OUT TO (7) = 428.15

MANHOLE
 STA. 454.80
 TOP = 431.35
 INV (2) DIP IN FROM (10) = 431.35
 INV (2) DIP OUT TO (8) = 431.35

MANHOLE
 STA. 461.80
 TOP = 434.55
 INV (2) DIP IN FROM (11) = 434.55
 INV (2) DIP OUT TO (9) = 434.55

MANHOLE
 STA. 468.80
 TOP = 437.75
 INV (2) DIP IN FROM (12) = 437.75
 INV (2) DIP OUT TO (10) = 437.75

MANHOLE
 STA. 475.80
 TOP = 440.95
 INV (2) DIP IN FROM (13) = 440.95
 INV (2) DIP OUT TO (11) = 440.95

MANHOLE
 STA. 482.80
 TOP = 444.15
 INV (2) DIP IN FROM (14) = 444.15
 INV (2) DIP OUT TO (12) = 444.15

MANHOLE
 STA. 489.80
 TOP = 447.35
 INV (2) DIP IN FROM (15) = 447.35
 INV (2) DIP OUT TO (13) = 447.35

MANHOLE
 STA. 496.80
 TOP = 450.55
 INV (2) DIP IN FROM (16) = 450.55
 INV (2) DIP OUT TO (14) = 450.55

MANHOLE
 STA. 503.80
 TOP = 453.75
 INV (2) DIP IN FROM (17) = 453.75
 INV (2) DIP OUT TO (15) = 453.75

MANHOLE
 STA. 510.80
 TOP = 456.95
 INV (2) DIP IN FROM (18) = 456.95
 INV (2) DIP OUT TO (16) = 456.95

MANHOLE
 STA. 517.80
 TOP = 460.15
 INV (2) DIP IN FROM (19) = 460.15
 INV (2) DIP OUT TO (17) = 460.15

MANHOLE
 STA. 524.80
 TOP = 463.35
 INV (2) DIP IN FROM (20) = 463.35
 INV (2) DIP OUT TO (18) = 463.35

MANHOLE
 STA. 531.80
 TOP = 466.55
 INV (2) DIP IN FROM (21) = 466.55
 INV (2) DIP OUT TO (19) = 466.55

MANHOLE
 STA. 538.80
 TOP = 469.75
 INV (2) DIP IN FROM (22) = 469.75
 INV (2) DIP OUT TO (20) = 469.75

FOR AS-BUILT INFORMATION
 FOR MANHOLES DOWNSTREAM
 OF MH K4, REFER TO FINAL
 PLAN FOR BRIDLETON NORTH
 PHASE I, UNIT B, RECORDED
 IN PLAT BOOK 143, PAGE 225.

SEE SHEET 12
 MATCH LINE

NOTE:
 ALL SANITARY SEWER LINES WILL BE AIR TESTED
 AFTER ALL OTHER UTILITIES ARE INSTALLED. IT IS
 THE DEVELOPER'S RESPONSIBILITY TO CONTACT
 THE FORSYTH COUNTY DEPARTMENT OF WATER &
 SEWER WHEN ALL OTHER UTILITIES ARE INSTALLED
 AND THE SITE IS READY FOR AIR TESTING.
 CERTIFICATES OF OCCUPANCY PERMITS WILL NOT
 BE ISSUED UNTIL ALL AIR TESTING IS COMPLETE.

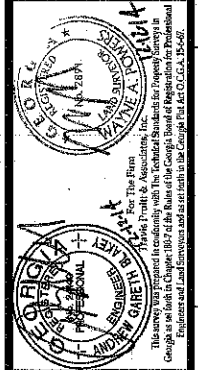
SCALE:
 HORZ: 1"=50' VERT: 1"=10'

DATE: 10/17/2014
 SCALE: 1" = 50'
 DESIGNED BY: SAN-AB-PRD
 DRAWN BY: J. ZOOB
 CHECKED BY: J. ZOOB
 PROJECT NO.: 120017-005-1-20-PRD
 SHEET NO.: 12 OF 14

BRIDLETON NORTH
 PHASE II, UNIT A
 LOTS 1274 & 1275, 2ND DIST. 1ST SECT., FORSYTH COUNTY, GA.

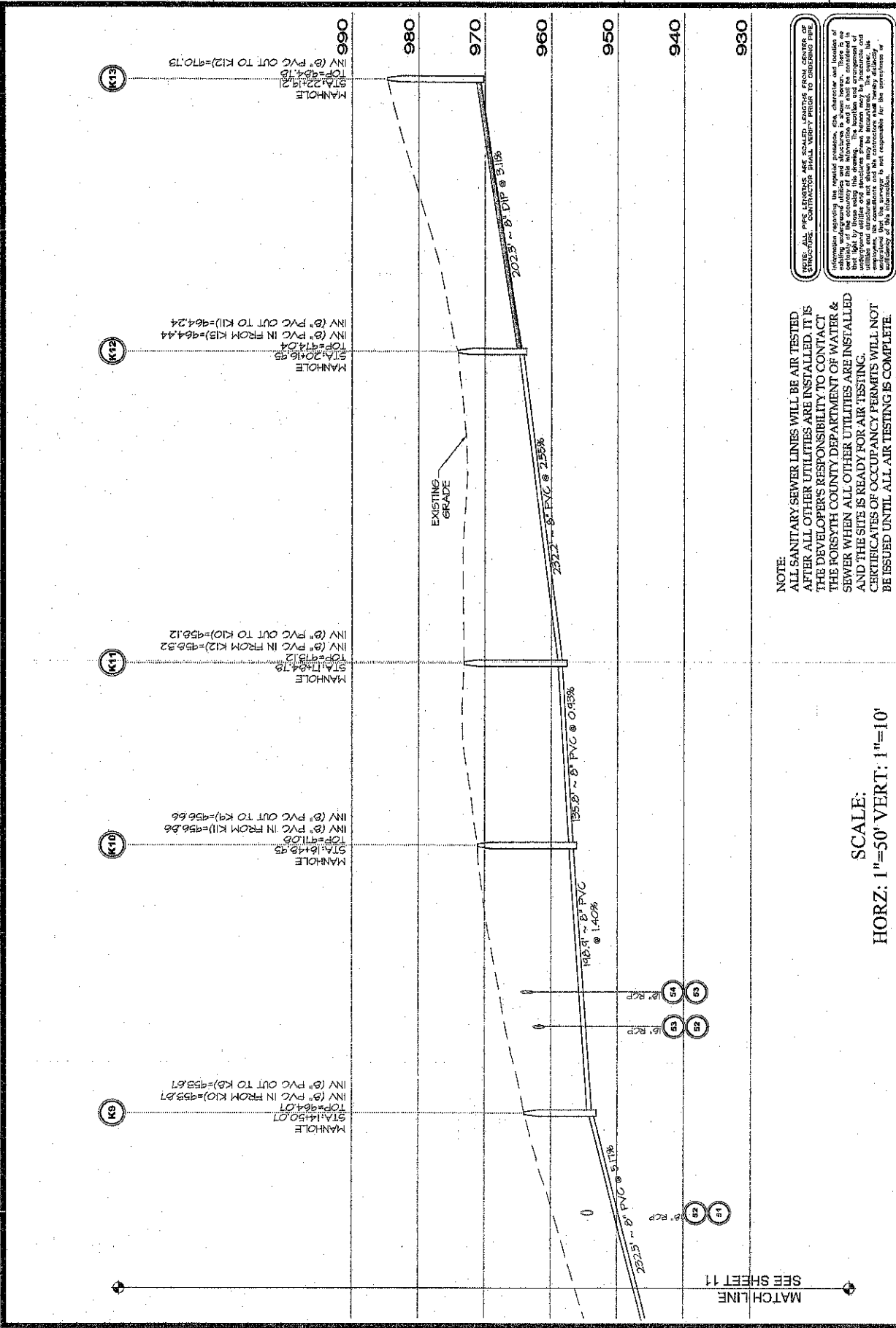
As-Built Sanitary Profile

DATE: 10/17/2014
 SCALE: 1" = 50'
 DESIGNED BY: SAN-AB-PRD
 DRAWN BY: J. ZOOB
 CHECKED BY: J. ZOOB
 PROJECT NO.: 120017-005-1-20-PRD
 SHEET NO.: 12 OF 14



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 Phone: (770) 416-7911 Fax:
 (770) 416-6799
 www.travispruit.com
 Contact Person: Wayne A. Powers
 Certificate of Authorization Number 613

NO.	DATE	DESCRIPTION	BY
1	12/1/14	ADDRESS COUNTY COMMENTS	BS
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4			
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NOTE:
ALL SANITARY SEWER LINES WILL BE AIR TESTED AFTER ALL OTHER UTILITIES ARE INSTALLED. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE FORSYTH COUNTY DEPARTMENT OF WATER & SEWER WHEN ALL OTHER UTILITIES ARE INSTALLED AND THE SITE IS READY FOR AIR TESTING. CERTIFICATES OF OCCUPANCY PERMITS WILL NOT BE ISSUED UNTIL ALL AIR TESTING IS COMPLETE.

SCALE:
HORZ: 1"=50' VERT: 1"=10'

Information regarding the proposed installation, site, character and location of existing underground utilities and structures is shown herein. There is no warranty, expressed or implied, as to the accuracy of the location and arrangement of utilities and structures as shown. The location and arrangement of utilities and structures as shown may be inaccurate. The contractor shall verify the accuracy of the information shown herein and the contractor shall be responsible for the accuracy of the information.

FOR CONTRACTOR'S USE ONLY
DATE: 10/17/2014
SCALE: 1" = 50'
DRAWN: AB, PRC
ENR: 120017
JUN: 120017, 205.1, 24.47
FN: 116-C-2B21
SHEET 13 OF 14

As-Built Sanitary Profile
BRIDLETON NORTH
PHASE II, UNIT A

LAND LOTS 1212, 1274, & 1275, 2ND DIST. 1ST SECT. FORSYTH COUNTY, GA.

Travis Fruit Associates, Inc.
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Contact Person: Wayne A. Powers
Certificate of Authorization Number 013

Travis Fruit Associates, Inc.
Professional Engineer
No. 120017
State of Georgia
Professional Seal

Travis Fruit Associates, Inc.
Professional Engineer
No. 120017
State of Georgia
Professional Seal

NO.	DATE	DESCRIPTION	BY
1	12/11/14	ADDRESS COUNTY COMMENTS	BS
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REVISIONS

