

Plat
 Recorded 2/26/2018 1:27 PM
 Patty Baker
 Clerk of Superior Court
 Cherokee County, GA
 Book 118 Page 1220
 Participant IDs: 3645440314

FINAL PLAT OF SPRING CREEK PLACE

**LOCATED IN LAND LOT 1209
 15th DISTRICT, 2nd SECTION
 CITY OF WOODSTOCK
 CHEROKEE COUNTY, GEORGIA
 NOVEMBER 14, 2017**

CLOSURE STATEMENT

THE FIELD DATA UPON WHICH THIS PLAT IS BASED ON HAS A CLOSURE PRECISION OF 1 IN 70,827 FEET AND AN ANGULAR ERROR OF 0 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING LEAST SQUARE METHOD.

THE DATA SHOWN ON THIS PLAT HAS A CLOSURE PRECISION RATIO OF 1 IN 147,958

DATE OF FIELD WORK: 09.07.16

GENERAL NOTES

EQUIPMENT USED TO OBTAIN THESE MEASUREMENTS WAS A TOPCON ES-105 TOTAL STATION.

BEARINGS ARE CALCULATED FROM ANGLES TURNED FROM A SINGLE GRID BASELINE.

VERTICAL DATUM IS NAVD 88.

ALL IRON PINS ARE 1/2" REBAR UNLESS OTHERWISE NOTED.

ABOVE GROUND UTILITY LOCATIONS WERE OBTAINED FROM FIELD OBSERVATIONS. UNDERGROUND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY.

WATER AND SEWER SERVICES PROVIDED BY CITY OF WOODSTOCK.

CITY OF WOODSTOCK PERSONNEL AND/OR AGENTS SHALL HAVE FREE AND TOTAL ACCESS TO ACROSS ALL EASEMENTS.

THIS FINAL SUBDIVISION PLAT IS SUBJECT TO THE COVENANTS SET FORTH IN THE SEPARATE DOCUMENT(S) ATTACHED HERETO, DATED _____, AND RECORDED IN CHEROKEE COUNTY DEED RECORDS DB _____ PG _____, WHICH HEREBY BECOMES A PART OF THIS FINAL SUBDIVISION PLAT.

A PORTION OF THIS SITE IS LOCATED WITHIN A FLOOD HAZARD AREA, AS PER THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF CHEROKEE, GEORGIA AND INCORPORATED AREAS, MAP NUMBER 13057C0334D, DATED SEPTEMBER 29, 2006. THE ELEVATION FOR THE AE FLOOD IS 891. GRAPHICALLY SHOWN FROM SURVEY BY MCWORTER AND ANDERSON, DATED NOV. 7, 2014

UTILITIES, ALLEYS, AND OTHER IMPROVEMENTS SHOWN IN FUTURE DEVELOPMENT AREA ARE PROPOSED. NO CONSTRUCTION HAS STARTED IN THIS AREA.

A PORTION OF THE DRIVEWAY (APPROX 13') FOR EACH HOME FALLS IN THE RIGHT OF WAY. THE REMAINDER FALLS OUTSIDE OF THE PUBLIC RIGHT OF WAY

CITY OF WOODSTOCK ASSUMES NO RESPONSIBILITY FOR THE MAINTENANCE OF DRAINAGE EASEMENTS OUTSIDE OF THE RIGHT OF WAY. THIS INCLUDES STORM DRAINAGE PIPES OUTSIDE OF THE RIGHT OF WAY. IT IS THE RESPONSIBILITY OF THE HOMEOWNER TO KEEP EASEMENTS FREE OF OBSTRUCTIONS AND TO MAINTAIN IN SUCH A WAY AS TO ASSURE FREE AND MAXIMUM FLOW AT ALL TIMES. THE PROPERTY OWNER SHALL NOT ALTER ANY DRAINAGE IMPROVEMENTS WITHOUT THE PRIOR WRITTEN APPROVAL FROM THE CITY OF WOODSTOCK ENGINEERING DEPARTMENT. IT IS THE RESPONSIBILITY OF THE HOMEOWNERS' ASSOCIATION TO MAINTAIN ALL STORM LINES AND DETENTION PONDS OUTSIDE OF THE RIGHT OF WAY.

SITE DATA

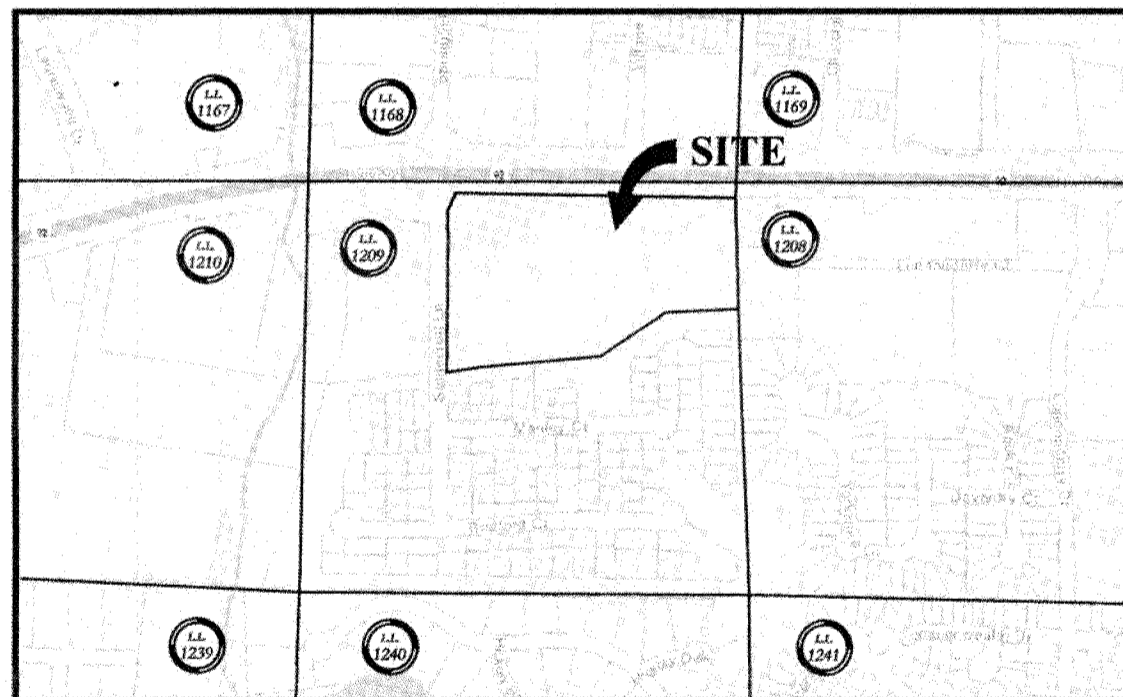
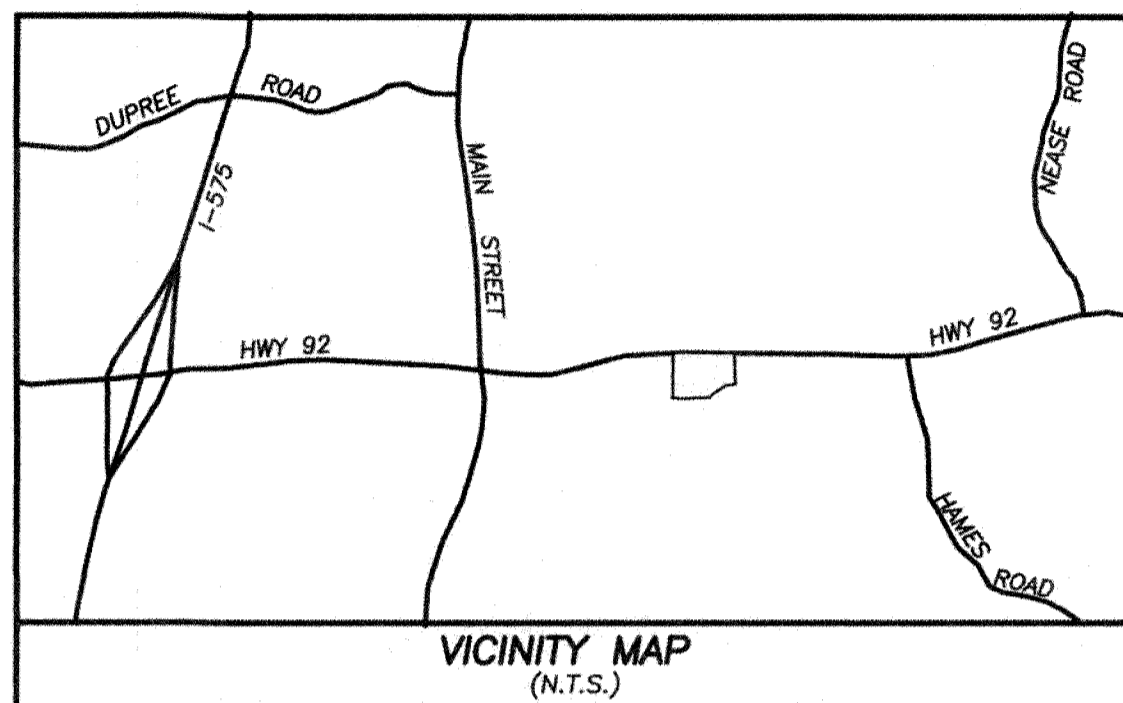
TRACT TAX ID 15N18 022
 TOTAL ACREAGE (BEFORE RIGHT OF WAY DEDICATION) = 10.231 ACRES
 AREA TO BE DEDICATED = 1.262 ACRES
 AREA REMAINING AFTER DEDICATION = 8.969 ACRES

TOTAL NUMBER OF LOTS: 46 LOTS (CONTAINS 7 FUTURE LOTS)
 DENSITY: 4.50 LOTS/ AC
 ZONING: GC WITH PARKWAY OVERLAY

BUILDING SETBACK LINES:
 MIN FRONT: 24' (VARIANCE PER Z110-17)
 MIN SIDE: 10'
 MIN REAR: 24' (VARIANCE PER Z110-17)
 MAX HOUSE HEIGHT: 40'

OPEN SPACE MEETS THE REQUIRED OPEN SPACE

OPEN SPACE REQUIRED: 20% X 10.23AC = 2.05AC
 PROVIDED IN THIS PLAT: 2.85AC
 FUTURE DEVELOPMENT: 0.62AC
 TOTAL OF DEVELOPMENT: 3.47AC



**LOCATION MAP
 (N.T.S.)**

OWNERS ACKNOWLEDGEMENT

THE OWNER OF LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED THERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY AND DEDICATES TO THE CITY OF WOODSTOCK FOR THE USE OF THE PUBLIC FOREVER, ALL STREETS, ALLEYS, PARKS, DRAINS, EASEMENTS AND PUBLIC PLACES HEREON SHOWN FOR THE PURPOSE AND CONSIDERATION HERIN EXPRESSED.

 SIGNATURE DATE

Sean C. Randall, Venture Homes, Inc. 2/26/2018
 OWNER (PRINTED) DATE

DEVELOPER:
 VENTURE HOMES, INC
 1590 TERRELL MILL ROAD
 MARIETTA, GA 30067

ENGINEER:
 SOUTHEASTERN ENGINEERING, INC.
 2470 SANDY PLAINS ROAD
 MARIETTA, GA 3006

SURVEYOR:
 GUNNIN LAND SURVEYING, LLC
 107 MOUNTAIN BROOK DRIVE
 SUITE 104
 CANTON GA 30115
 678.880.7502

24 HOUR CONTACT:
 JIM DAVIS
 PHONE: 770.652.2925

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I HEREBY CERTIFY THAT THE WATER SYSTEM OUTLINED ON THE FINAL SUBDIVISION PLAT ENTITLED, SPRING CREEK PLACE HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF WOODSTOCK, OR A SUFFICIENT BOND OR OTHER SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.

 DIRECTOR OF PUBLIC WORKS DATE

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I HEREBY CERTIFY THAT THE SEWER SYSTEM OUTLINED ON THE FINAL SUBDIVISION PLAT ENTITLED SPRING CREEK PLACE HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF WOODSTOCK, OR A SUFFICIENT BOND OR OTHER SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.

 DIRECTOR OF PUBLIC WORKS DATE

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY: (1) THAT ALL DESIGNATED STREETS AND DRAINAGE STRUCTURES ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE CITY OF WOODSTOCK LAND DEVELOPMENT ORDINANCE, OR (2) THAT SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.

 DIRECTOR OF PUBLIC WORKS DATE

**FINAL PLAT APPROVAL BY THE CITY OF WOODSTOCK
 DEVELOPMENT PROCESS COMMITTEE**

THIS PLAT HAVING BEEN SUBMITTED TO THE CITY OF WOODSTOCK DEVELOPMENT PROCESS COMMITTEE AND HAVING BEEN FOUND TO COMPLY WITH THE CITY OF WOODSTOCK LAND DEVELOPMENT ORDINANCE, INCLUDING BUT NOT LIMITED TO ARTICLE III LAND DEVELOPMENT STANDARDS, ALONG WITH ANY APPLICABLE APPROVED ZONING CONDITIONS OR VARIANCES, NOW THEREFORE IS APPROVED FOR RECORDING IN THE OFFICE OF THE CLERK OF SUPERIOR COURT OF CHEROKEE COUNTY, GEORGIA. THIS FINAL PLAT APPROVAL DOES NOT CONSTITUTE THE FINAL ACCEPTANCE BY THE CITY OF WOODSTOCK OF THE IMPROVEMENTS PROPOSED TO BE DEDICATED TO THE CITY.

 CHAIRPERSON, DEVELOPMENT PROCESS COMMITTEE DATE

STATEMENT OF LIMITATIONS

THE UNDERSIGNED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR STATEMENTS OR CERTIFICATIONS MADE OR IMPLIED ON THIS DOCUMENT OR PLAT EXCEPT THOSE SPECIFICALLY DEFINED BY THE LAWS OF THE STATE OF GEORGIA AND THE STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AS BEING WITHIN THE SCOPE OF TRAINING, EDUCATION, EXPERIENCE AND EXPERTISE NECESSARY FOR PRACTICE AS A REGISTERED LAND SURVEYOR.

 ALBERT GRAMLING, LS NO. 2983 DATE

SURVEYOR'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HERON, AND IS TO THE ACCURACY AND SPECIFICATIONS REQUIRED BY THE CITY OF WOODSTOCK LAND DEVELOPMENT ORDINANCE.

 ALBERT GRAMLING, LS NO. 2983 DATE

CERTIFICATE OF SURVEYOR

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

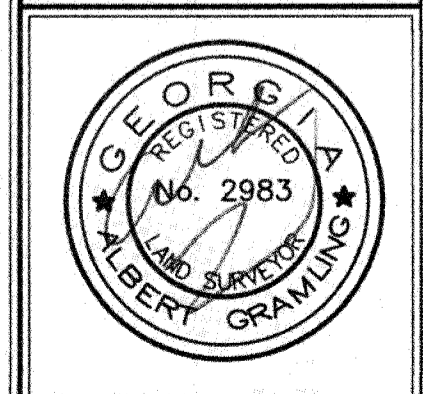
 ALBERT GRAMLING, GA RLS NO.2983 DATE

REVISION				
DATE				

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 CITY OF WOODSTOCK
 CHEROKEE COUNTY, GEORGIA
 NOVEMBER 14, 2017

Gunnin

LAND SURVEYING, LLC
 105 MOUNTAIN BROOK DRIVE, SUITE 104
 CANTON, GA 30115
 Tel: 678.880.7502
 Fax: 678.609.4731
 www.gunninlandsurveying.com
 Land Surveyor Firm License No. LSF001033



SHEET	OF
1	6

CITY OF WOODSTOCK ORDINANCE

Z#110-17 Spring Creek

Condition Amendment to Z#094-16 King Mac Ventures LLC

REZONING a parcel of property within the corporate limits of the City of Woodstock, Georgia from zoning category General Commercial (GC) to zoning category General Commercial (GC) with different conditions of zoning, said parcel being ±10.23 acres located in Land Lot 1209 of the 15th District, 2nd Section, Cherokee County, Georgia, and being Tax Map and Parcel number 15N18 022 located at 10700 Highway 92, Woodstock, GA.

WHEREAS, the City of Woodstock (hereinafter sometimes referred to as the "City") is a municipality duly formed and existing pursuant to Georgia law; and

WHEREAS, the 1983 Constitution of the State of Georgia provides for the self-government of municipalities without the necessity of action by the General Assembly¹; and

WHEREAS, the City of Woodstock, Georgia, has the legislative power to adopt clearly reasonable ordinances, resolutions or regulations relating to its property, affairs and local government for which no provision has been made by general law, and which are not inconsistent with the Constitution or any charter provision applicable thereto²; and

WHEREAS, the Mayor and Council of the City of Woodstock have determined that rezoning the above identified property would be in the best of interest of the property owners of the area and of the citizens of the City of Woodstock; and

WHEREAS, said amendments are and have been accessible to members of the public who are, or may be, affected by them, said amendments having been kept and maintained for public inspection during the normal business hours at Woodstock City Hall, and notice of intent to take action having been published in the Cherokee Tribune, a newspaper of general circulation within the territorial boundaries of the municipality of the City of Woodstock, for a period of at least fifteen (15) days prior to but no more than forty-five days prior to the public hearing date; and

WHEREAS, the governing authority of the City of Woodstock has read and considered the proposed amendments;

¹ Ga. Const., 1983, Article IX, Section II, Paragraph II provides in pertinent part as follows:

"The General Assembly may provide by law for the self-government of municipalities and to that end is expressly given the authority to delegate its power so that matters pertaining to the municipalities may be dealt with without the necessity of action by the General Assembly."

² O.C.G.A. §36-35-3(a) provides the following:

(a) The governing authority of each municipal corporation shall have legislative power to adopt clearly reasonable ordinances, resolutions, or regulations relating to its property, affairs, and local government for which no provision has been made by general law and which are not inconsistent with the Constitution or any charter provision applicable thereto. Any such charter provision shall remain in force and effect until amended or repealed as provided in subsection (b) of this Code section. This Code section, however, shall not restrict the authority of the General Assembly, by general law, to define this home rule power further or to broaden, limit, or otherwise regulate the exercise thereof. The General Assembly shall not pass any local law to appeal, modify or supersede any action taken by a municipal authority under this Code section, except as authorized under Code Section 36-36-6."

NOW THEREFORE, BE IT RESOLVED AND ORDAINED by the Mayor and Council of the City of Woodstock that the aforesaid amendments shall now and hereafter be maintained for public inspection during the normal business hours at the City Hall under the custody of the City Clerk of the City of Woodstock; and

NOW THEREFORE, BE IT RESOLVED AND ORDAINED by the City of Woodstock, Georgia, by the lawful authority vested in them that the property more particularly described on Exhibit "A" attached hereto and made a part hereof by reference is hereby designated as zoning designation General Commercial (GC). Said rezoning is defined and regulated by the City of Woodstock Land Development Ordinance and is subject to the Conditions of Zoning attached hereto as Exhibit "B" and made a part hereof by reference.

Date of Public Hearing: January 22, 2018

Advertisement: Cherokee Tribune: Friday, December 15, 2017

APPROVED, ADOPTED, AND ENACTED this 22nd day of January 2018.


 Donnie Henriques, Mayor
 City of Woodstock, Georgia


 Rhonda L. Pezzello, City Clerk
 City of Woodstock, Georgia

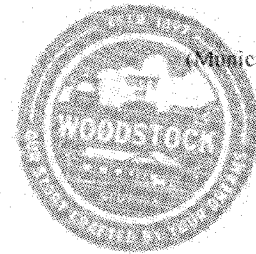


Exhibit "A"

Legal Description

All that tract of parcel of land lying and being in Land Lot 1209 of the 15th District, 2nd Section of Cherokee County, City of Woodstock, Georgia, and being more particularly described as follows:

Find the true point of beginning, being at an iron pin found at the southeast intersection of State Route Highway 92 and Stone Croft Lane, having a 60 foot right-of-way, and running thence south 89 degrees 7 minutes 20 seconds east a distance of 915.72 feet to an iron pin; thence traveling south 01 degrees 57 minutes 56 seconds east a distance of 344.95 feet to an iron pin; thence traveling south 85 degrees 39 minutes 02 seconds west a distance of 239.91 feet; thence traveling south 58 degrees 18 minutes 26 seconds west a distance of 247.06 feet; thence traveling south 83 degrees 46 minutes 35 seconds west a distance of 519.74 feet to an iron pin located on the western right-of-way of Stone Croft Lane; thence traveling along the western right-of-way Stone Croft Lane north 0 degree 52 minutes 57 seconds east a distance of 528.65 feet to an iron pin; thence traveling north 41 degrees 28 minutes 32 seconds east a distance of 46.08 feet to an iron pin being the point of beginning.

REVISION

DATE

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Exhibit "B"
 Conditions of Zoning

1. The 75-foot zoning buffer along the southern property line is optional.
2. Electric vehicle charging stations on-site are optional.
3. Compliance with elevations dated 11/19/14 submitted by Reliable Heating and Air is optional.
4. These conditions shall supersede all previous conditions of zoning required by Z#094-16.
5. The developer shall provide an interior access road which runs parallel to HWY 92 and which terminates at a required stub out for future interparcel connection to Parcel 15N18 033 to the East. This road shall have sidewalks that are a minimum of 5 feet on both sides of the street.
6. The applicant must provide 0.25 Guest Parking Spaces per residential unit built on-site, with final guest parking requirement subject to staff approval. If the City Engineer and Fire Department determine the road is too narrow to safely accommodate on-street parking, an off-street guest parking lot must be created.
7. Residential developments shall provide a second row of street trees in the 40-foot Streetscape Zone along the northern property line to provide future residents greater privacy and protection from light spill over and noise resulting from vehicles traveling on HWY92. Trees shall be planted 30 feet on center and be staggered from the first required row of Street Trees, if feasible, as determined by Staff.
8. Stonecroft Lane Streetscape shall be redeveloped. These improvements include a 7-foot landscape zone, 8-foot clear zone, and 5-foot supplemental zone. The supplemental zone may be waived by staff along parts of Stonecroft Lane where the sidewalk does not directly abut residential or commercial structures. No on-street parking shall be required along Stonecroft Lane. The 8-foot sidewalk along Stonecroft Lane should hold a consistent width with no transition or tapering until connection to the existing 5-foot sidewalk along HWY 92. However, the 7-foot landscape zone may transition or taper to 2 feet, with staff approval, where necessary to prevent encroachment into flood plains or stream buffers. Where the landscape zone is reduced to 2 feet, street lights will be required but not street trees. Construction built along Stonecroft Lane may use a front setback or may adhere to the build to lines at the end of the required supplemental zone, with staff approval.
9. Any construction built west of the Creek centerline shall mirror the parcel's interior architecture to maintain a unified aesthetic throughout the entire development. In case of residential development, 4-foot wide walkways that connect the front door of residential units facing Stonecroft Lane to the required 8-foot sidewalk may be required by staff. These walkways may be shared by no more than two units.
10. Existing street lamps and poles along Stonecroft Lane shall be removed and replaced. New light fixtures shall be Lithonia Lighting MRP LED 500K of the Omero family. New poles shall be Lithonia Lighting RSAO - i.e., the Round Straight Aluminum with Omero Decorative Base/Cover. Fixture height is to be 15 feet from adjacent sidewalk grade. Staff may review and approve the installation of alternative light fixtures or light poles where compliance would conflict with implementation of a consistent lighting plan.

Exhibit "B"
 Conditions of Zoning

11. These new streetlights along Stonecroft Lane shall be placed a maximum 100 feet on center within the landscape zone and be spaced equally between the required trees also to be in the landscape zone.
12. Building mechanicals shall be screened from view of the required sidewalk areas or HWY92. Shrubbery or fencing just tall enough to obscure the item may be permitted as screening but no chain link is permitted.
13. Minimum Setbacks shall be as follows: 24-foot front, 10-foot side, 24-foot rear. Lots facing Stonecroft Lane may adhere to build to lines instead of front setbacks, with staff approval.
14. A variance is granted to the requirement for the zoning buffer on the east side of the property, to be replaced with a 10-foot replanted buffer.
15. For commercial development, the applicant shall install either a constructed or vegetated sound barrier around the recycling containers and dumpster area before Certificates of Occupancy may be issued, to be approved by the Director of Community Development prior to installation.
16. For commercial development, no deliveries or trash service shall occur between the hours of 10:00 PM and 6:00 AM.
17. Fencing is required around detention ponds with approved landscape packaging to be approved by staff prior to installation. Fencing shall be black vinyl coated chain link.
18. Alleys running parallel to Stonecroft Lane must be constructed of impervious pavement.
19. Relief to the Impervious Surface Setback shall be given to allow for grading and construction of two residential units on land west of the creek centerline, said relief to be contingent on staff approval.
20. Relief to the 50-foot City Stream Buffer and 75-foot Impervious Surface Setback to allow grading and fencing to the Stormwater Management Area shall be contingent on staff approval.
21. Relief to allow grading and construction of Guest Parking and any retention wall needed to build a guest parking area shall be contingent on staff approval.
22. Relief to allow minor grading in any other portion of the 50-foot City Stream Buffer shall be subject to staff approval.
23. Alternative means of stormwater management are to be encouraged. The use of dry detention ponds for stormwater management shall be allowed only after staff has been satisfied that all other means of stormwater management have been adequately explored and eliminated. The use of dry detention ponds shall be upon staff approval.

Exhibit "B"
 Conditions of Zoning

24. There shall be an ongoing Homeowners Association managing the property.
25. Development east and west of the creek must be connected by a pedestrian or multi-use path.
26. Appropriate signage for one-way driveways and/or signs prohibiting on-street parking shall be installed by the developer, as requested by the City Engineer or City Fire Department.
27. No more than a total of 549 Square Feet of Impervious Surface is permitted in the 75-foot Impervious Surface Setback located west of the creek centerline.
28. Homes cannot sit closer than 19 feet from any right of way.
29. Stonecroft Lane supplemental zone shall be landscaped with street trees and other plantings, to be approved by staff.
30. A minimum of three (3) parking spaces for guest parking shall be constructed west of the creek.

Applicant Signature: _____ Date: _____

Printed Name: _____ Title: _____

REVISION

DATE

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SHEET 3 OF 6

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SYMBOL LEGEND

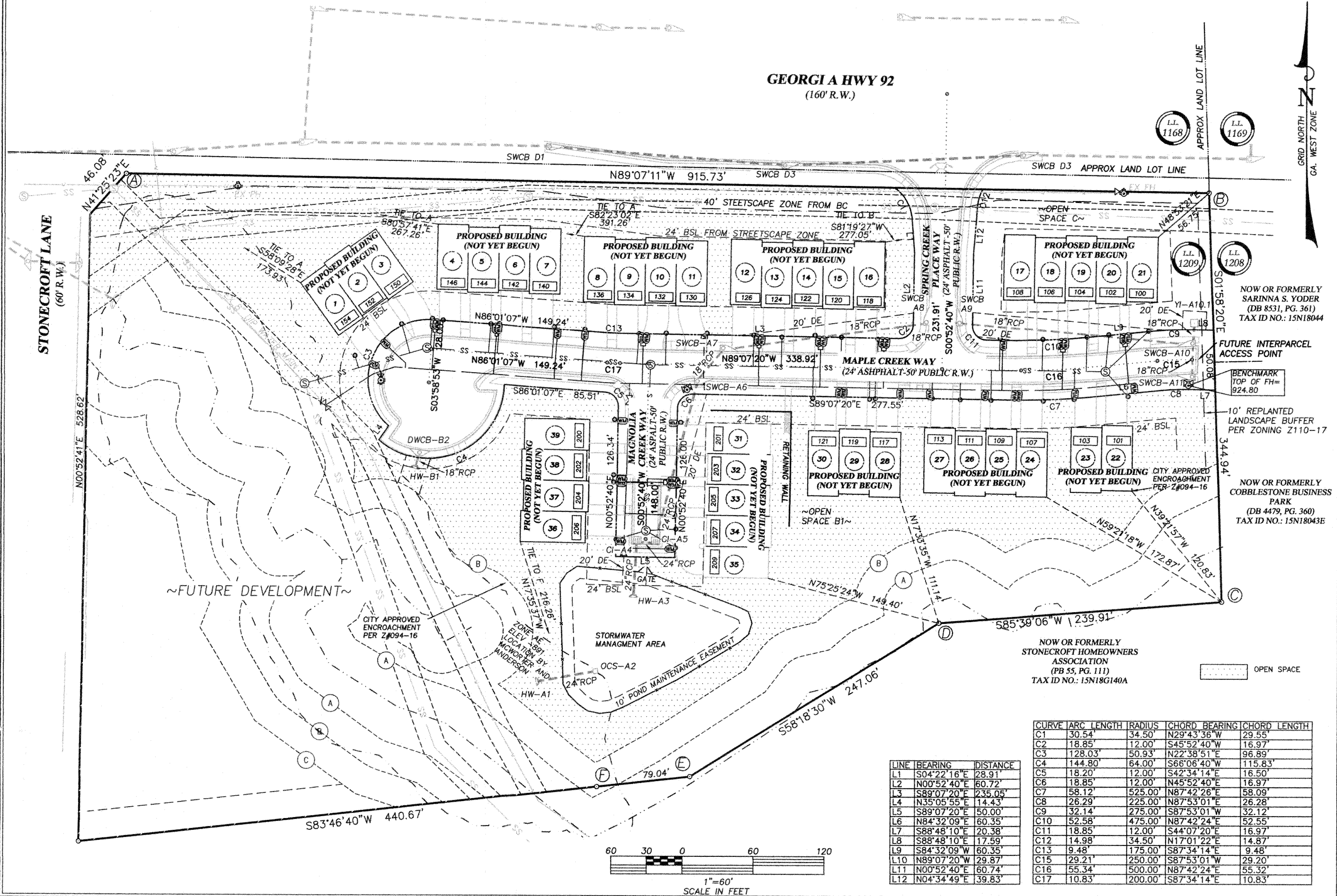
- IPF 1/2" REBAR FND.
- IPS 1/2" REBAR SET
- ◆ BM BENCHMARK
- CTV CABLE BOX
- CB CATCH BASIN
- CMF CONCRETE MONUMENT FOUND
- DI DROP INLET
- FH FIRE HYDRANT
- ICV IRRIGATION CONTROL VALVE
- PP POWER POLE
- CO SANITARY CLEANOUT
- MH SANITARY SEWER MANHOLE
- JB STORM JUNCTION BOX
- TX TRANSFORMER BOX
- TSB TRAFFIC SIGNAL BOX
- TSP TRAFFIC SIGNAL POLE
- TB TELEPHONE BOX
- WM WATER METER
- WV WATER VALVE
- WI WEIR INLET

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- C.L. CENTERLINE
- CMP CORRUGATED METAL PIPE
- CT CRIMPED TOP PIPE
- DE DRAINAGE EASEMENT
- E.O.P. EDGE OF PAVEMENT
- FEN FENCE
- L.L.L. LAND LOT LINE
- O.H. OVERHEAD UTIL. LINE
- OT OPEN TOP PIPE
- RCP REINFORCED CONCRETE PIPE
- R.W. RIGHT OF WAY
- SS SANITARY SEWER
- SSE SANITARY SEWER EASEMENT
- U.E. UTILITY EASEMENT

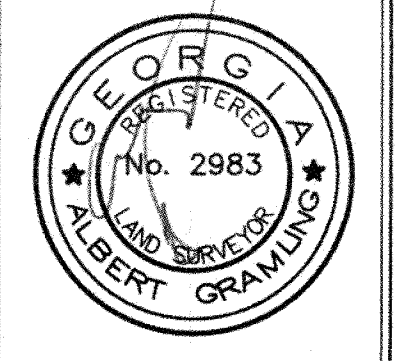
- (A) 25' STATE UNDISTURBED BUFFER & D.E. (PER APPROVED LDP SET)
- (B) 50' CITY UNDISTURBED VEGETATIVE BUFFER (PER APPROVED LDP SET)
- (C) 75' IMPERVIOUS SETBACK (PER APPROVED LDP SET)

EXTERIOR BOUNDARY CORNERS			
CORNER	NORTHING	EASTING	MONUMENT TYPE
A	1486651.90	2192621.57	IPF
B	1486637.83	2193537.19	IPF
C	1486293.10	2193549.07	IPF
D	1486274.91	2193309.84	IPF
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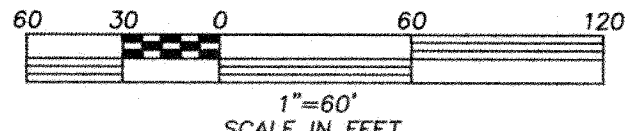
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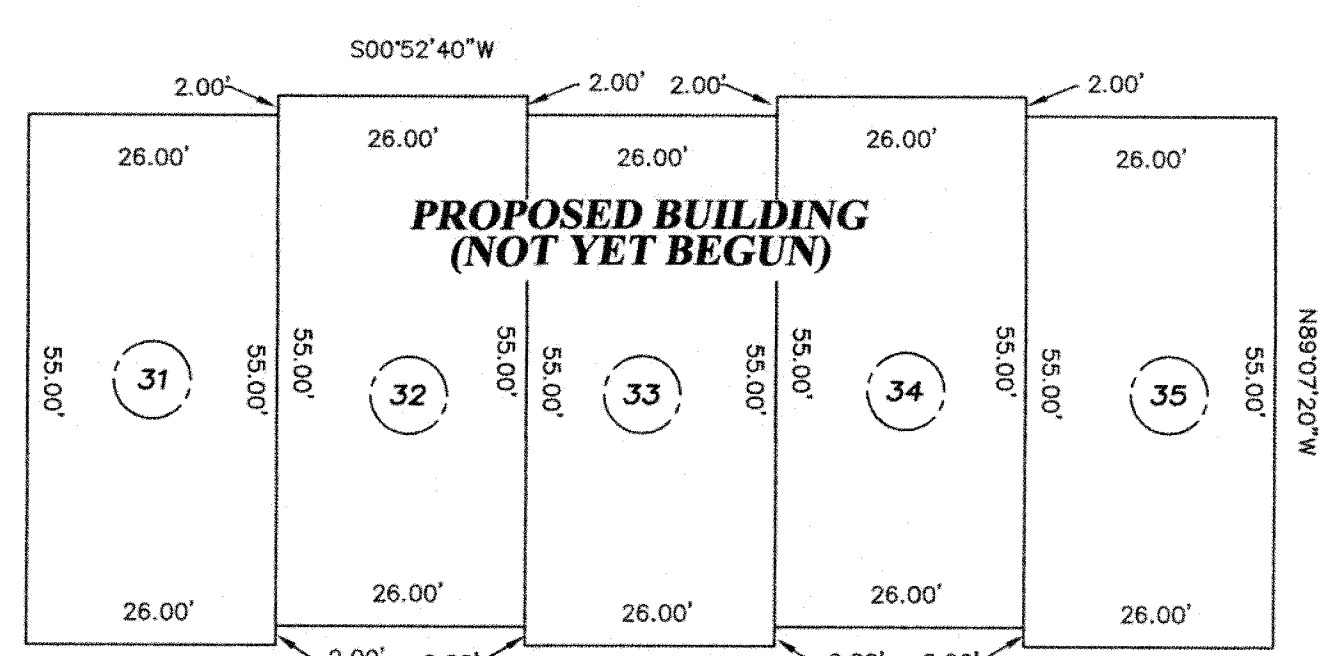
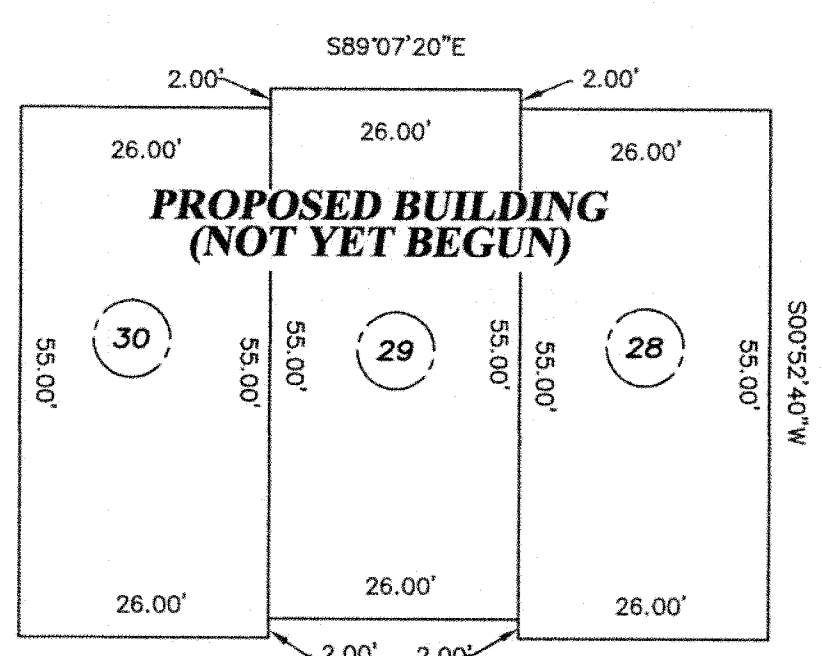
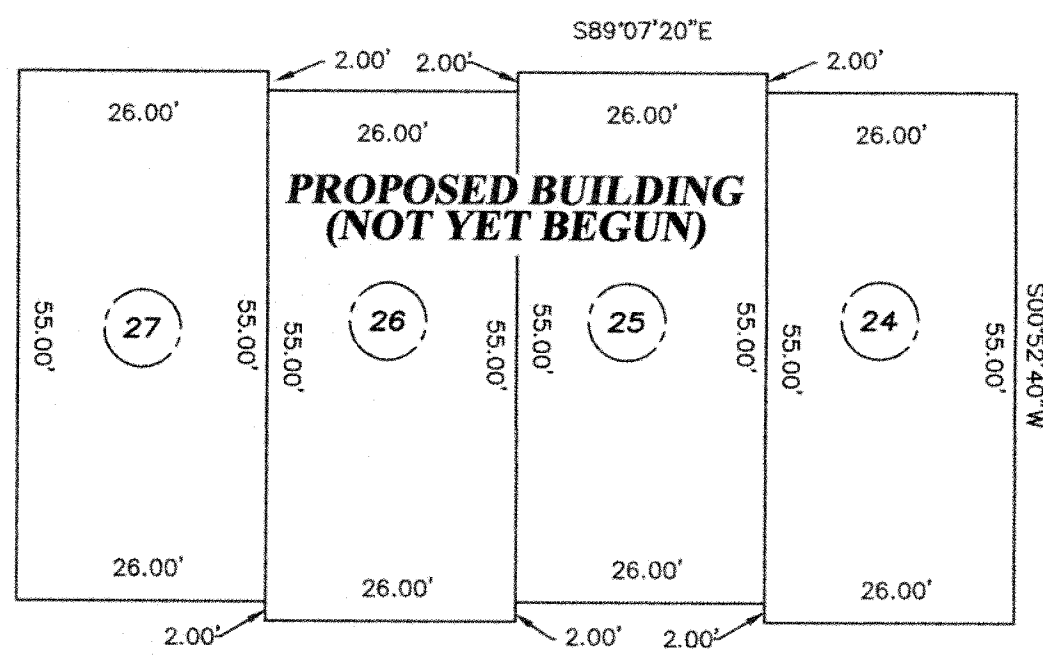
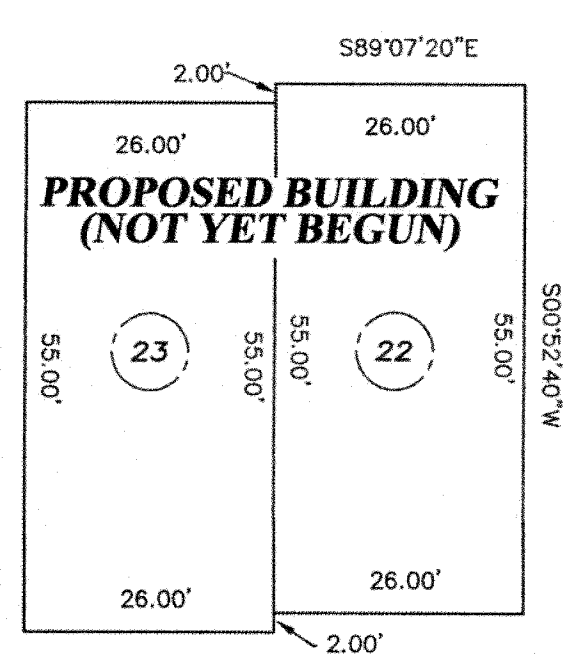
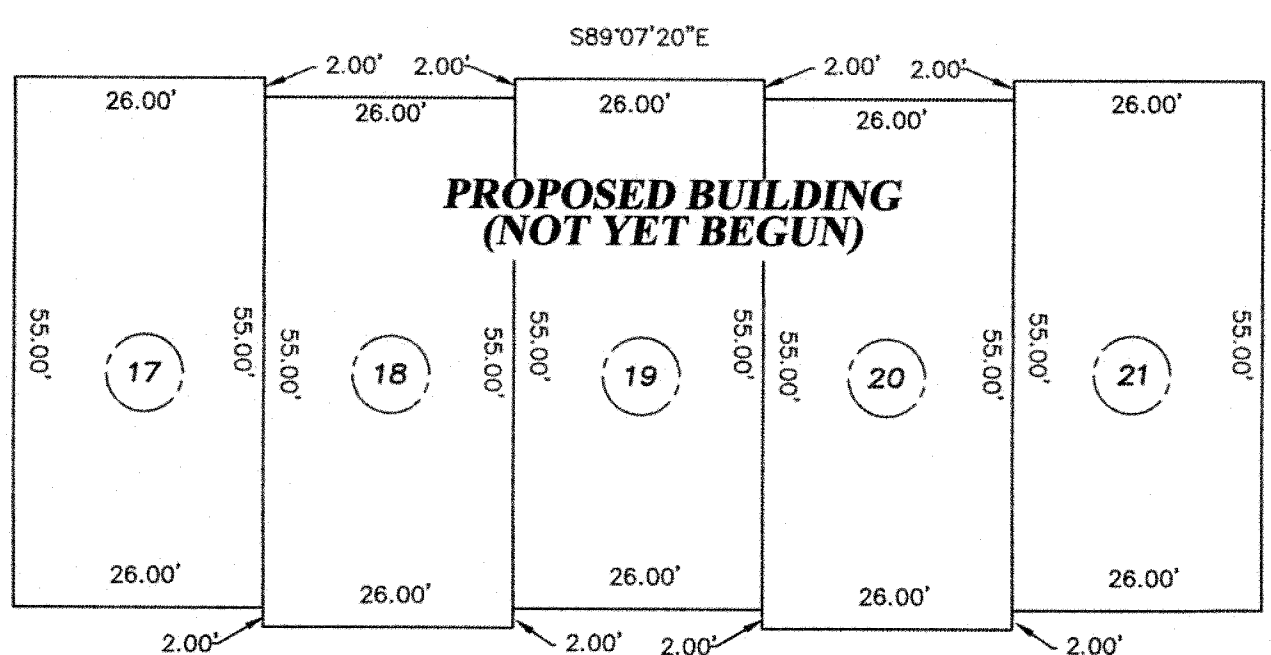
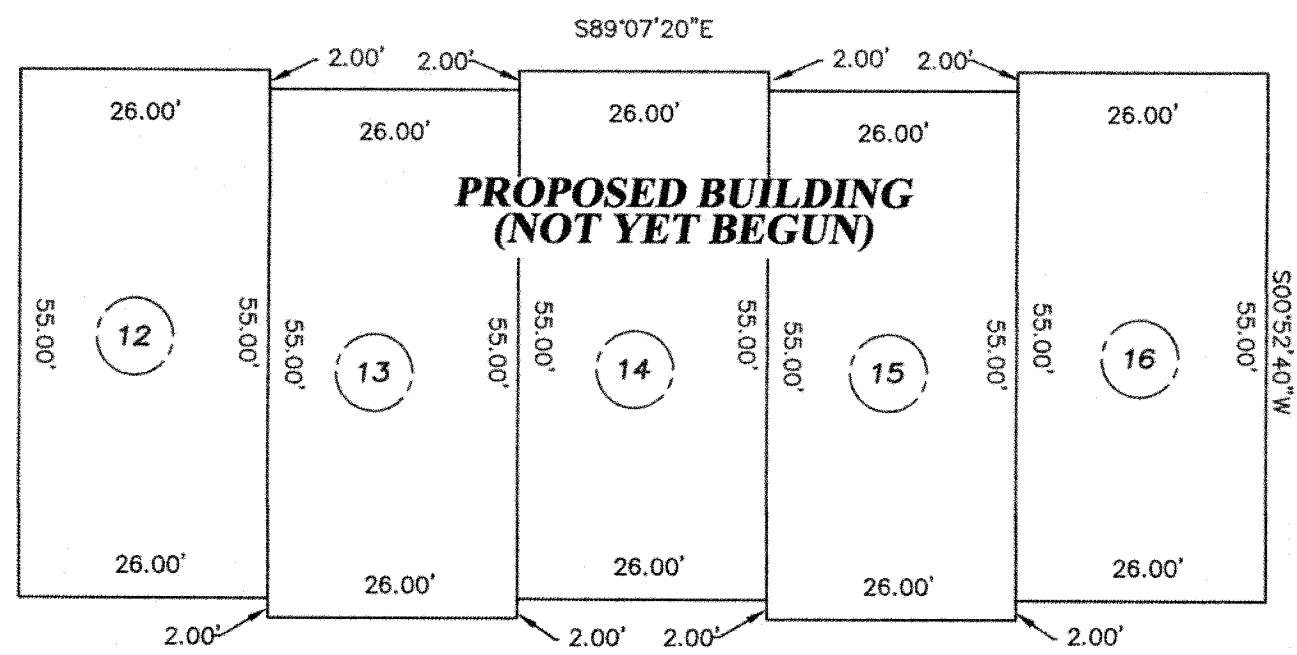
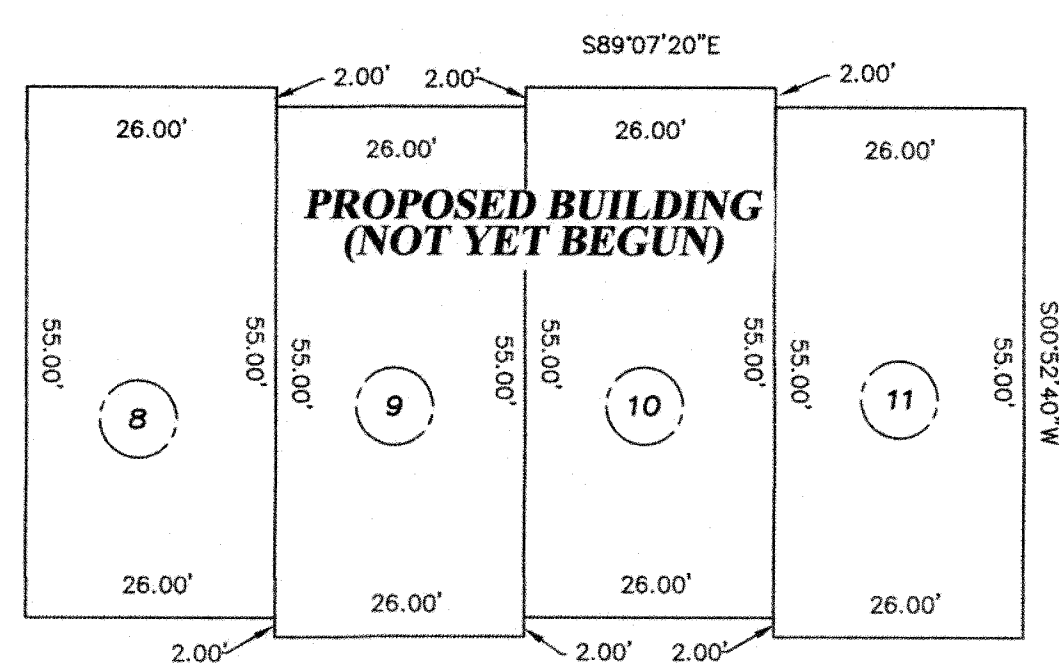
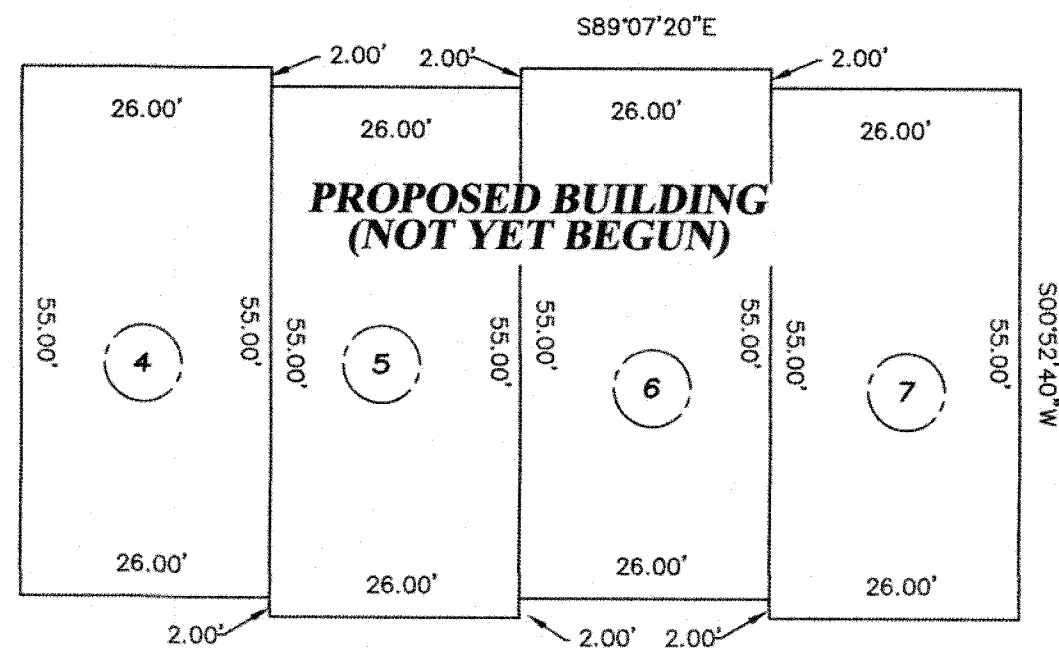
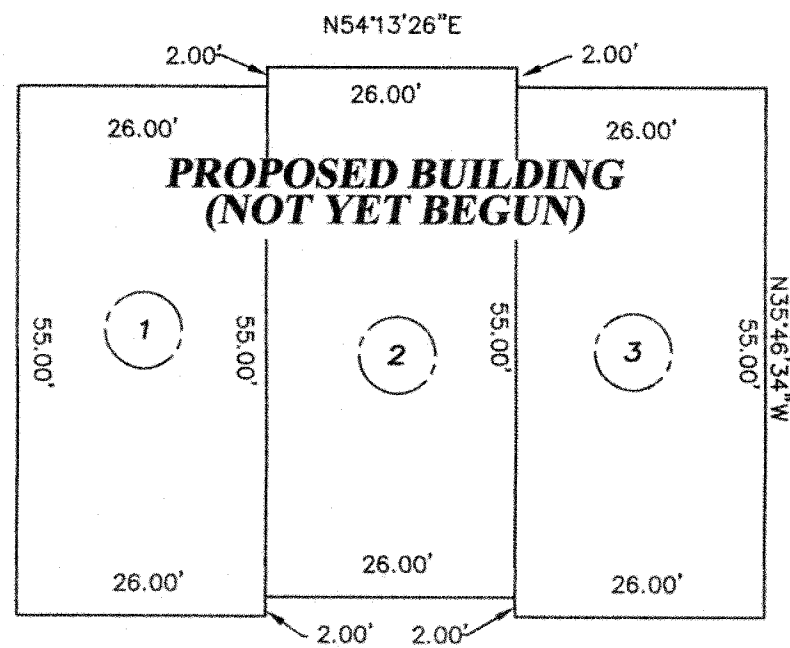
LINE	BEARING	DISTANCE
L1	S04°22'16"E	28.91
L2	N00°52'40"E	60.72
L3	S89°07'20"E	235.05
L4	N35°05'55"E	14.43
L5	S89°07'20"E	50.00
L6	N84°32'09"E	60.35
L7	S88°48'10"E	20.38
L8	S88°48'10"E	17.59
L9	S84°32'09"W	60.35
L10	N89°07'20"W	29.87
L11	N00°52'40"E	60.74
L12	N04°34'49"E	39.83

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	30.54'	34.50'	N29°43'36"W	29.55'
C2	18.85'	12.00'	S45°52'40"W	16.97'
C3	128.03'	50.93'	N22°38'51"E	96.89'
C4	144.80'	64.00'	S66°06'40"W	115.83'
C5	18.20'	12.00'	S42°34'14"E	16.50'
C6	18.85'	12.00'	N45°52'40"E	16.97'
C7	58.12'	525.00'	N87°42'26"E	58.09'
C8	26.29'	225.00'	N87°53'01"E	26.28'
C9	32.14'	275.00'	S87°53'01"W	32.12'
C10	52.58'	475.00'	N87°42'24"E	52.55'
C11	18.85'	12.00'	S44°07'20"E	16.97'
C12	14.98'	34.50'	N17°01'22"E	14.87'
C13	9.48'	175.00'	S87°34'14"E	9.48'
C15	29.21'	250.00'	S87°53'01"W	29.20'
C16	55.34'	500.00'	N87°42'24"E	55.32'
C17	10.83'	200.00'	S87°34'14"E	10.83'



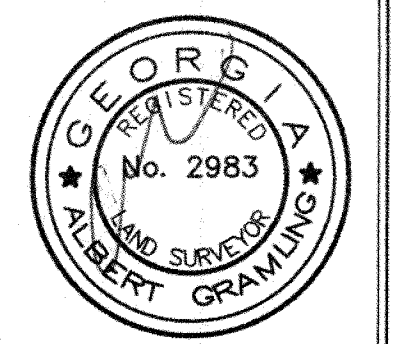
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 Patty Baker
 Clerk of Superior Court
 Cherokee County, GA
 Book 118 Page 1224
 Participant IDs: 3645440314

REVISION	DATE

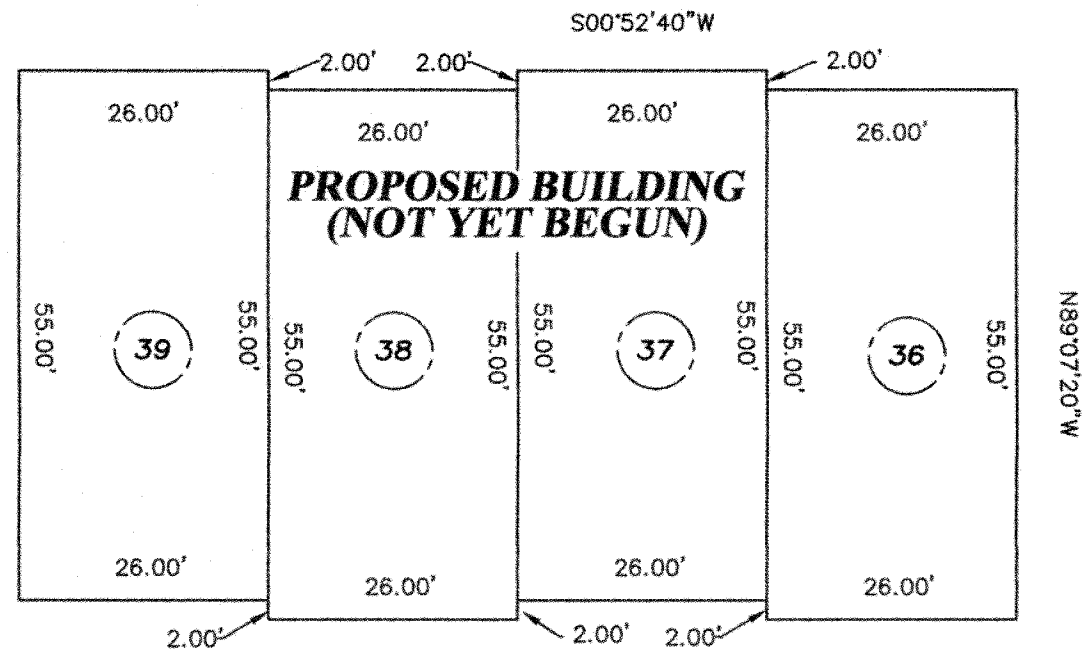


**FINAL PLAT OF
 SPRING CREEK PLACE**
 LOCATED IN LAND LOT 1209
 15th DISTRICT, 2nd SECTION
 CITY OF WOODSTOCK
 CHEROKEE COUNTY, GEORGIA
 NOVEMBER 14, 2017

Gunnin
 LAND SURVEYING, LLC
 105 MOUNTAIN BROOK DRIVE, SUITE 104
 CANTON, GA 30115
 www.gunninlandsurveying.com
 Land Surveyor Firm License No. LSF001033
 Tel: 678-880-7502
 Fax: 678-609-4731



Plat
 Recorded 2/26/2018 1:27 PM
 Patty Baker
 Clerk of Superior Court
 Cherokee County, GA
 Book 118 Page 1225
 Participant IDs: 3645440314



LOT AREA TABLE

LOT	SQ. FEET
1	1,430
2	1,430
3	1,430
4	1,430
5	1,430
6	1,430
7	1,430
8	1,430
9	1,430
10	1,430
11	1,430
12	1,430
13	1,430
14	1,430
15	1,430
16	1,430
17	1,430
18	1,430
19	1,430
20	1,430
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23	1,430
24	1,430
25	1,430
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27	1,430
28	1,430
29	1,430
30	1,430
31	1,430
32	1,430
33	1,430
34	1,430
35	1,430
36	1,430
37	1,430
38	1,430
39	1,430
OS-C	13,010
OS B	111,052

REVISION	DATE

**FINAL PLAT OF
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