

SURVEYOR:
 GUNNIN LAND SURVEYING, LLC
 107 MOUNTAIN BROOK DRIVE
 SUITE 104
 CANTON, GEORGIA 30115
 PHONE: 678.880.7502

ENGINEER:
 RALPH A DAVIS
 GREYDEN ENGINEERING, LLC
 2106 MACY DRIVE
 ROSWELL, GA 30076
 PHONE: 770.573.4801

CONTRACTOR:
 MONTE HEWETT HOMES
 5775 GLENRIDGE DRIVE
 BLDG B, STE 100
 ATLANTA, GA 30328
 PHONE: 404.459.6073

OWNER/DEVELOPER:
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 PHONE: 404.459.6073

24-HOUR CONTACT:
 ADAM BROWN
 PHONE: 404.323.0229

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 GAS - ATLANTA GAS & LIGHT
 TELEPHONE - AT&T

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Filed and Recorded 08/08/2020 12:11:00 PM

2020-0255269

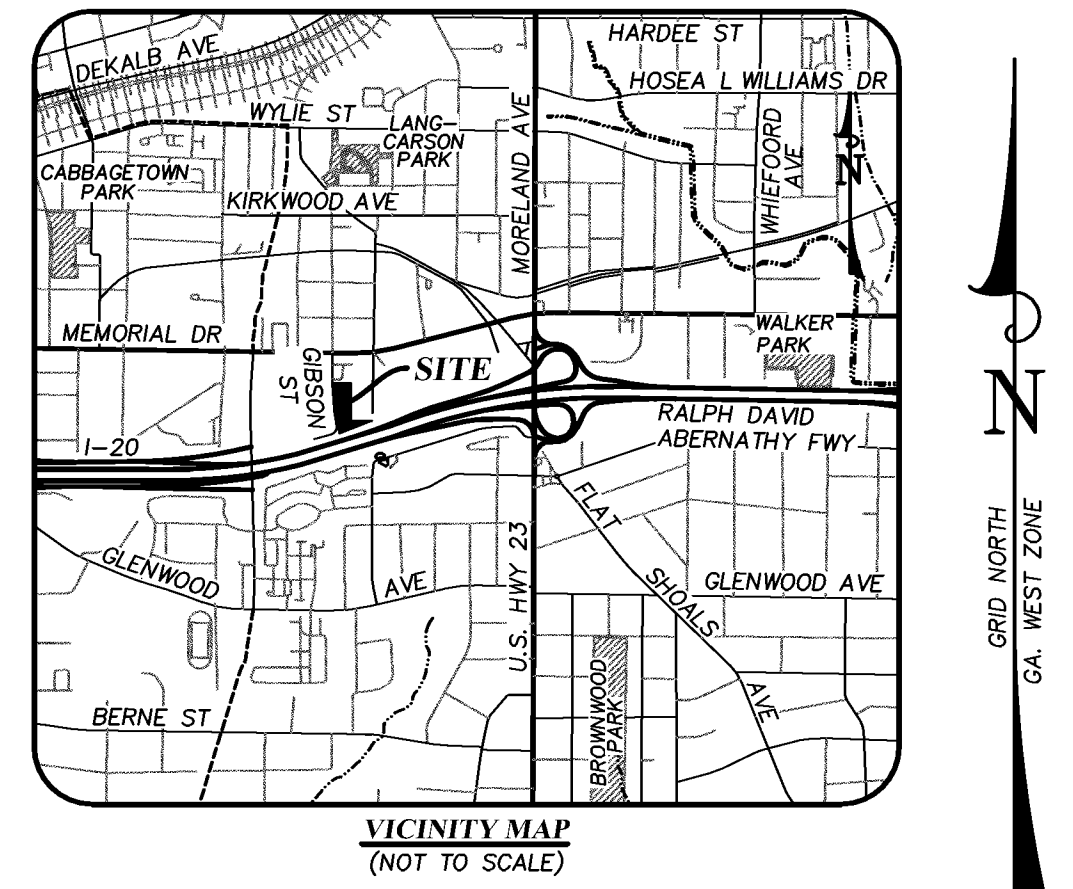
Cathelene Robinson

Clerk of Superior Court

Fulton County, GA

Participant IDs: 0112052042

SHEET INDEX:
 1 - COVER
 2 - PLAN VIEW (PLAT/PROPERTY DATA)
 3 - TOWNHOME DETAIL



CLOSURE STATEMENT
 THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS AN ANGULAR ERROR OF 5 SECONDS PER ANGLE POINT AND A PRECISION RATIO OF 1 IN 21,105. IT HAS BEEN ADJUSTED USING THE COMPASS METHOD.

THE DATA SHOWN ON THIS PLAT HAS A CLOSURE PRECISION RATIO OF 1 IN 190,403.

GENERAL NOTES
 EQUIPMENT USED TO OBTAIN THESE MEASUREMENTS WAS A SOKIA SRX3 ROBOTIC TOTAL STATION.

BEARINGS ARE CALCULATED FROM ANGLES TURNED FROM A SINGLE GRID BASELINE.

THE DATUM FOR THIS SITE WAS ESTABLISHED UTILIZING GLOBAL POSITIONING SYSTEMS AND BASED ON POSITIONAL VALUES FOR THE VERTICAL REFERENCE STATION NETWORK DEVELOPED BY GPS SOLUTIONS. THE HORIZONTAL REFERENCE FRAME IS NORTH AMERICAN DATUM OF 1983 (NAD83)-STATE PLANE COORDINATE SYSTEM OF GEORGIA-WEST ZONE. THE VERTICAL REFERENCE FRAME IS NORTH AMERICAN DATUM OF 1988. ANY DIRECTIONS OR DIMENSIONS SHOWN ARE A RECTANGULAR, GROUND LEVEL PROJECTION OF THE STATE PLANE COORDINATE SYSTEM.

DATE OF FIELD WORK: 06/17/2020

ALL IRON PINS SET ARE 1/2" REBARS CAPPED WITH "GUNNIN LSF 1033" UNLESS OTHERWISE NOTED.

BY GRAPHIC PLOTTING ONLY, NO PORTIONS OF THIS SITE ARE WITHIN THE LIMITS OF A 100 YR. FLOOD HAZARD AREA AS PER F.I.R.M. FULTON COUNTY, GEORGIA AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER 13131003766 DATED 9/18/2013.

ALL MATTERS OF TITLE EXCEPTED.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. THERE MAY BE EASEMENTS OR OTHER ENCUMBRANCES THAT ARE NOT SHOWN.

THE SURVEY AND PLAT SHOWN HEREON IS NOT INTENDED FOR USE OR RELIANCE BY ANY PARTIES OR ENTITIES NOT SPECIFICALLY LISTED IN THE UNAUTHORIZED THIRD PARTIES SHALL INDEMNIFY AND HOLD GUNNIN LAND SURVEYING, LLC HARMLESS AGAINST ANY AND ALL LIABILITY FOR ANY LOSS ARISING OUT OF, OR RELATED TO, RELIANCE BY ANY THIRD PARTY ON ANY WORK PERFORMED THEREUNDER, OR THE CONTENTS OF THE SURVEY.

ABOVE GROUND UTILITY LOCATIONS WERE OBTAINED FROM FIELD OBSERVATIONS. UNDERGROUND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY.

THIS PLAT IS SUBJECT TO THE COVENANTS SET FORTH IN THE SEPARATE DOCUMENT(S) DATED 02/10/2020, WHICH HEREBY BECOMES A PART OF THIS PLAT, RECORDED IN DEED BOOK 61165, PAGE 394, FULTON COUNTY RECORDS AND SIGNED BY THE OWNER.

SITE ADDRESS IS LISTED AS: 905 MEMORIAL DRIVE, NE
 ATLANTA, GEORGIA 30316

PARCEL IDENTIFICATION NUMBER: 14 001200020732

SITE ANALYSIS
 TOTAL SITE AREA 1.686 ACRES
 ZONING USE MRC-3-C/BELTLINE OVERLAY
 CASE NUMBER Z-16-03 (ORDINANCE 16-0-1039)

BUILDING SETBACK PER REZONING:
 MEMORIAL DRIVE: _____ FEET
 FIRST AVE: _____ FEET
 COTTAGE GROVE AVE: _____ FEET
 SECOND AVE: _____ FEET

DRAINAGE STATEMENT
 STORM DRAINAGE FACILITIES SHOWN ON THIS PLAT ARE NECESSARY FOR THE PROPER DRAINAGE OF THE SUBDIVISION. THE CITY OF ATLANTA WILL NOT BE HELD RESPONSIBLE FOR OVERFLOW CAUSED BY THE STORM DRAINAGE FACILITIES OR NATURAL DRAINAGE CONDITIONS NOR RESPONSIBLE FOR EXTENSIONS OF STORM DRAINS.

THE CITY OF ATLANTA SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF ANY PIPES, DITCHES, DETENTION PONDS OR OTHER STRUCTURES WITHIN ANY DRAINAGE EASEMENT BEYOND THE RIGHT OF WAY.

ALL STORMWATER INFRASTRUCTURES LOCATED OUTSIDE THE RIGHT OF WAY ON THIS SITE ARE PRIVATELY OWNED, AND ANY MAINTENANCE OR REPLACEMENT IS THE OWNER'S (HOA) RESPONSIBILITY.

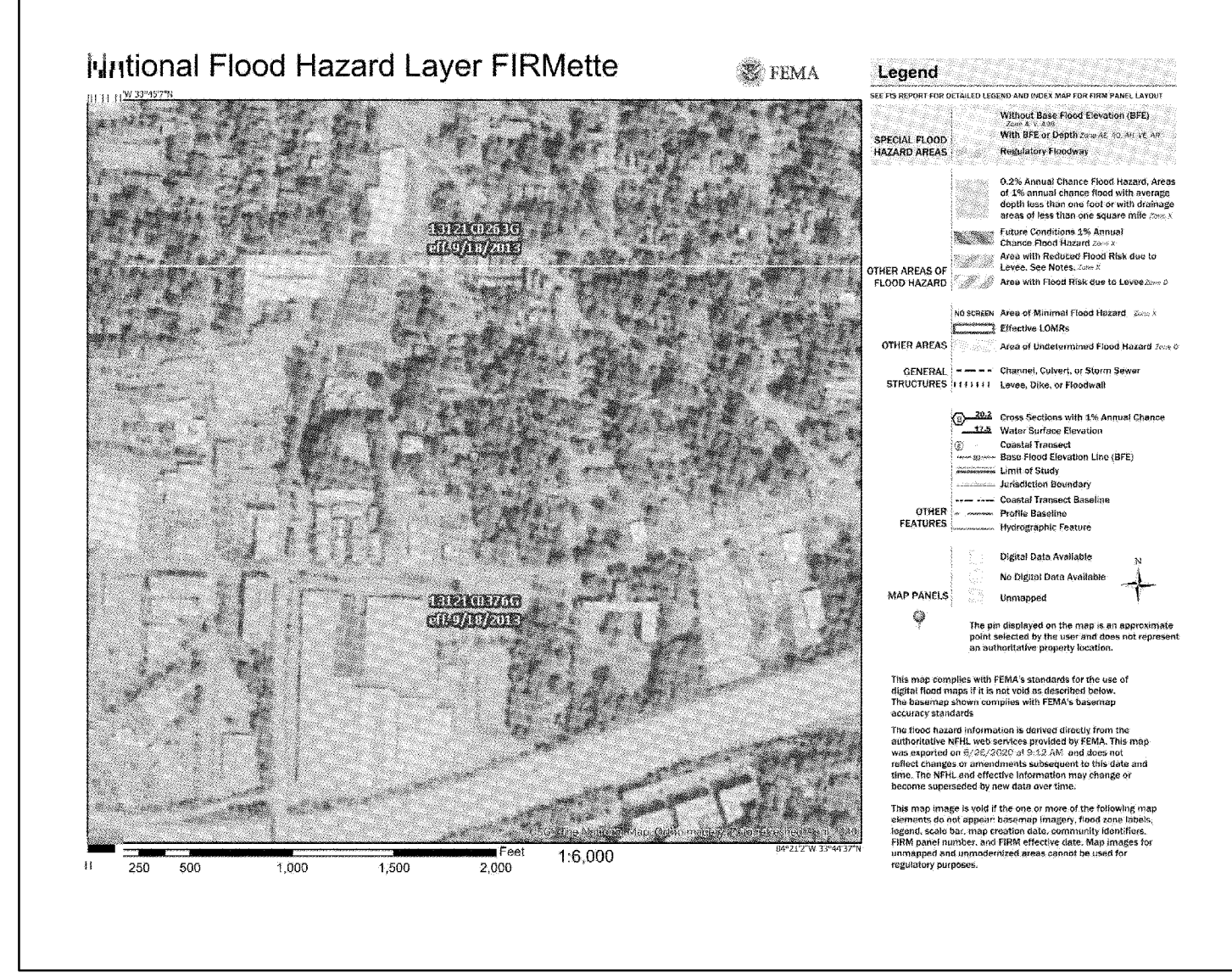
STRUCTURES NOT ALLOWED IN DRAINAGE EASEMENTS.

CITY NOTES
 ALL SEWERS ARE SUFFICIENTLY DEEP TO SERVE ALL LOTS EXCEPT WHERE OTHERWISE NOTED ON THE PLANS.

WATER AND SEWER SERVICE TO BE PROVIDED BY THE CITY OF ATLANTA.

REFERENCE NOTE:
 LIMITED WARRANTY DEED FOR MH MADISON YARDS LLC, A GEORGIA LIMITED LIABILITY COMPANY, DATED APRIL 19, 2019 08:28 AM AND RECORDED IN DEED BOOK 59934, PAGES 583-587 BY THE CLERK OF SUPERIOR COURT OF THE FULTON COUNTY, GEORGIA.

ZLL-20-053
 Department of City Planning
RECEIVED
 DATE: 7/17/2020



City Council
 Atlanta, Georgia

16-O-1039
 Z-16-03
 Date Filed: 1-5-16

AN AMENDED ORDINANCE
 BY: ZONING COMMITTEE

- CONDITIONS FOR Z-16 03 FOR 905 MEMORIAL DRIVE, S.E.**
- The Property shall be developed in accordance with the conceptual Site Plan prepared by Haines Gispson & Associates issued June 10, 2016 and stamped "received" by the Office of Planning on June 21, 2016.
 - Landscaping: A 10-ft. landscape strip shall be provided within the 20 ft. required yard on the east property line adjacent to the parcels zoned MR-3. The landscaping shall consist of overgreen shrubs and overgreen and deciduous trees.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF ATLANTA, GEORGIA, as follows:

SECTION 1. That the Zoning Ordinance of the City of Atlanta be amended, and the maps established in connection therewith be changed, so that the following property located at 905 Memorial Drive, S.E. be changed from the I-24-C/MR-3J Beltline Overlay (Heavy Industrial Conditional/Multifamily Residential/Beltline Overlay) District to the MRC-3-C/Beltline Overlay (Mixed Residential Commercial-Conditional/Beltline Overlay) District, to wit:

ALL THAT TRACT or parcel of land lying in Land Lot: 12, 14th District, Fulton County, Georgia, being more particularly described by the attached legal description and/or survey.

SECTION 2. If this amendment is approved under the provisions of Section 16-02.005 of the Zoning Ordinance of the City of Atlanta, entitled, "Conditional Development", as identified by the use of the suffix "C" after the district designation in Section 1 above, the Director, Bureau of Buildings, shall issue a building permit for the development of the above-described property only in compliance with the attached conditions. Any conditions hereby approved (including any conditional site plan) do not authorize the violation of any district regulations. District regulation variances can be approved only by application to the Board of Zoning Adjustment.

SECTION 3. That the maps referred to, now on file in the Office of the Municipal Clerk, be changed to conform with the terms of this ordinance.

SECTION 4. That all ordinances or parts of ordinances in conflict with the terms of this ordinance are hereby repealed.

A true copy,
 [Signature]
 Municipal Clerk

ADOPTED as amended by the Atlanta City Council
 APPROVED as per City Charter Section 2-4B1
 August 15, 2016
 August 14, 2016

THE PURPOSE OF THIS PLAT IS TO IDENTIFY THE FOOTPRINTS OF STRUCTURES AS CONSTRUCTED FOR LOTS 6-10 & 11-14. THE BOUNDARIES OF FOOTPRINTS SHOWN ON SHEET 3 OF 3 REPRESENT FOOTPRINTS ONLY AND NOT TYPICAL LOTS.

SURVEYOR'S ACKNOWLEDGEMENT
 IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION.
 BY: [Signature] 07.03.20
 ALBERT GRAMLING, GA RLS NO.2983. DATE

SURVEYOR'S CERTIFICATE (STATE OF GEORGIA)
 AS REQUIRED BY SUBSECTION (4) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.
 [Signature] 07.03.20
 ALBERT GRAMLING, GA RLS NO. 2983. DATE

OWNER'S ACKNOWLEDGEMENT & DECLARATION
 (STATE OF GEORGIA)
 (CITY OF ATLANTA)
 THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED THERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT HAVING LEGAL POWER OF ATTORNEY, ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY AND DEDICATES TO THE USE OF THE PUBLIC FOREVER, ALL STREETS, PARKS, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.
 BY: MH MADISON YARDS, LLC (OWNER) DATE 07.03.20

STATEMENT OF LIMITATIONS
 THE UNDERSIGNED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR STATEMENTS OR CERTIFICATIONS MADE OR IMPLIED ON THIS DOCUMENT OR PLAT EXCEPT THOSE SPECIFICALLY DEFINED BY THE LAWS OF THE STATE OF GEORGIA AND THE STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AS BEING WITHIN THE SCOPE OF TRAINING, EDUCATION, EXPERIENCE AND EXPERTISE NECESSARY FOR PRACTICE AS A REGISTERED LAND SURVEYOR.
 [Signature] 07.03.20
 ALBERT GRAMLING, GA RLS NO. 2983. DATE

REVISION

DATE

FINAL SUBDIVISION PLAT OF:
MADISON YARDS - PHASE 1
(LOTS 6-10 & 11-14)
 LOCATED IN LAND LOT 12
 14th DISTRICT
 CITY OF ATLANTA
 FULTON COUNTY, GEORGIA
 JUNE 30, 2020

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 LAND SURVEYING
 107 Mountain Brook Drive, Suite 104 Canton, GA 30115
 License No. LS# 001038
 www.gunninlandsurvey.com
 770.880.7502
 P#678.880.7502

DRAWN BY: RPH
 CHECKED BY: AWG

PROJECT NO. 19033

SHEET	OF
1	3

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RESERVED FOR PLAT FILING

ZLL-20-053
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RECEIVED
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BUILDING TIE LINE CALL TABLE

LINE	BEARING	DISTANCE
T1	S00°15'37"W	352.86'
T2	S03°34'13"W	283.74'

ABBREVIATIONS

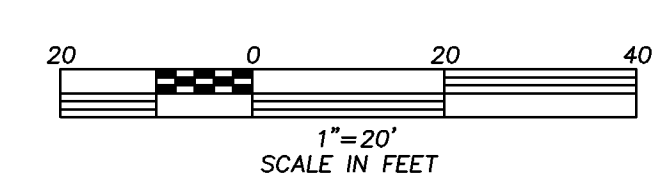
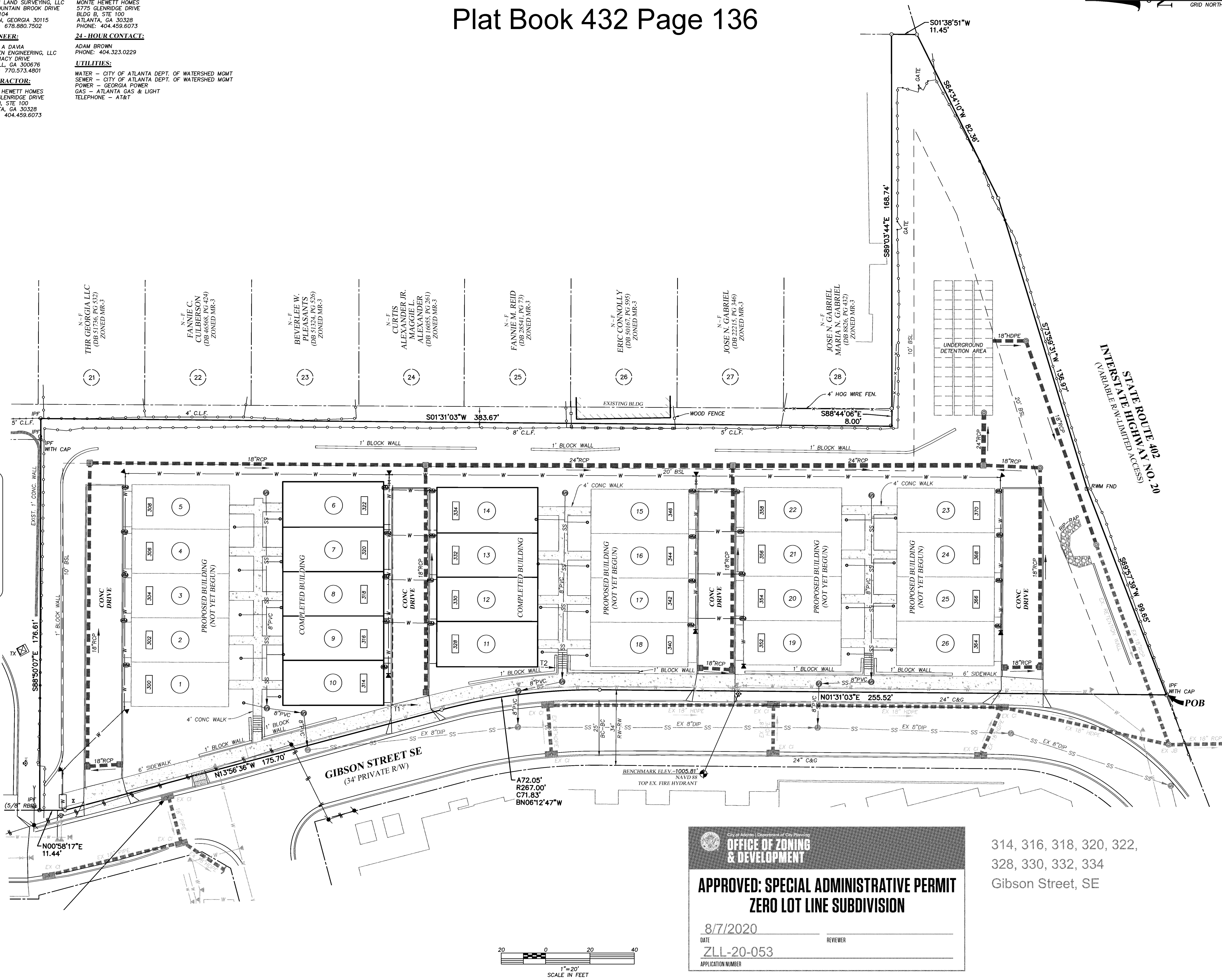
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- BC BACK OF CURB
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- BSL BUILDING SETBACK LINE
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- C.L. CENTERLINE
- C.L.F. CHAIN LINK FENCE
- CMF CONCRETE MONUMENT FOUND
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- L.L. LAND LOT LINE
- OTP OPEN TOP PIPE
- PB PLAT BOOK
- PC PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PROP. PROPOSED
- R.W. RIGHT OF WAY
- SS SANITARY SEWER
- S.S.E. SANITARY SEWER EASEMENT
- P.L. PROPERTY LINE

LINE TYPE LEGEND

- ADJOINING PROPERTY LINE
- RIGHT-OF-WAY CENTERLINE
- CRACK CENTERLINE
- LAND LOT LINE
- METAL FENCE
- WIRE FENCE
- WOOD FENCE
- GUARDRAIL
- RAILROAD TRACK
- OVERHEAD UTILITY LINE
- UNDERGROUND CABLE TV LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND GAS PIPE
- UNDERGROUND SANITARY SEWER PIPE
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- UNDERGROUND TRAFFIC LINE
- UNDERGROUND WATER PIPE

SYMBOL LEGEND

- 1/2" REBAR FOUND
- 1/2" REBAR SET
- RIGHT-OF-WAY MONUMENT FOUND
- ADJOINING LOT NUMBER
- LOT NUMBER
- LAND LOT NUMBER
- AIR CONDITIONING UNIT
- BENCHMARK
- BOLLARD
- HANDICAP PARKING SPOT
- SIGN
- MANHOLE - UNKNOWN TYPE
- CABLE TV MANHOLE
- CABLE TV PEDESTAL
- ELECTRIC BOX
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC PEDESTAL
- GUY WIRE AND ANCHOR
- GUY POLE
- LIGHT POLE (LP)
- POWER POLE (PP)
- SERVICE POLE
- HIGH VOLTAGE POWER POLE (HVPP)
- TRANSFORMER
- GAS MANHOLE
- GAS VALVE
- GAS METER
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER MANHOLE
- STORM SEWER CLEAN OUT
- DOUBLE WING CATCH BASIN
- SINGLE WING CATCH BASIN
- CURB INLET
- DROP INLET
- FLARED END SECTION
- HEADWALL
- JUNCTION BOX
- WEIR INLET
- YARD INLET
- TELEPHONE BOX
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- PEDESTRIAN SIGNAL POLE
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL POLE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- IRRIGATION CONTROL VALVE
- POST INDICATOR VALVE
- WATER MANHOLE
- WATER METER
- WATER VALVE
- WATER VAULT
- TREE



City of Atlanta | Department of City Planning
OFFICE OF ZONING & DEVELOPMENT

**APPROVED: SPECIAL ADMINISTRATIVE PERMIT
 ZERO LOT LINE SUBDIVISION**

8/7/2020
 DATE: _____ REVIEWER: _____

ZLL-20-053
 APPLICATION NUMBER

314, 316, 318, 320, 322,
 328, 330, 332, 334
 Gibson Street, SE

REVISION	DATE

FINAL SUBDIVISION PLAT OF:
**MADISON YARDS - PHASE 1
 (LOTS 6-10 & 11-14)**
 LOCATED IN LAND LOT 12
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2	3

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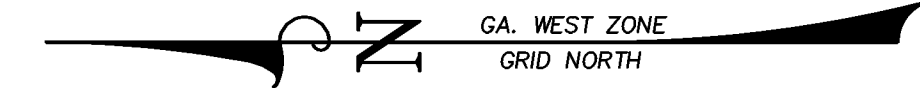
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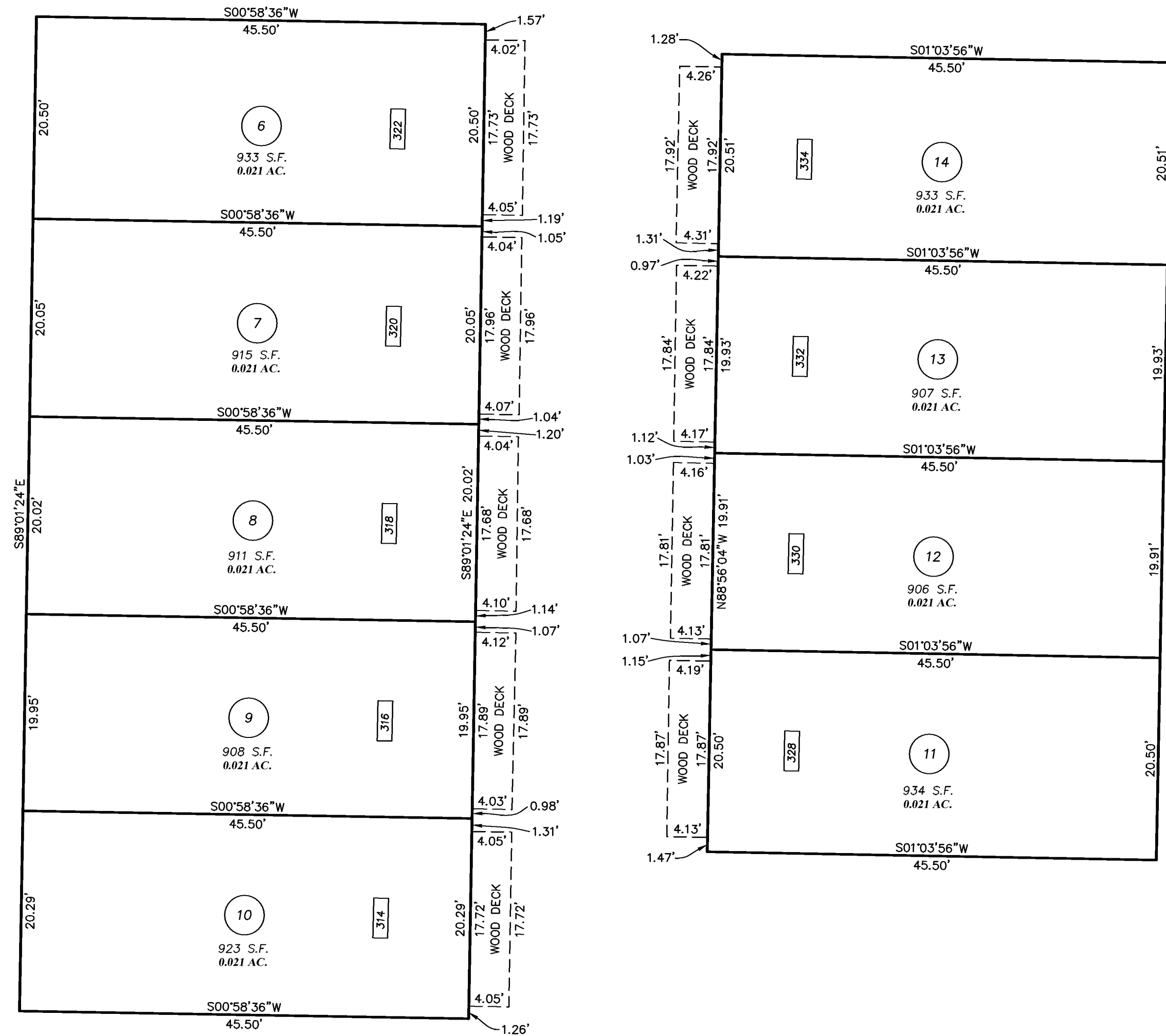
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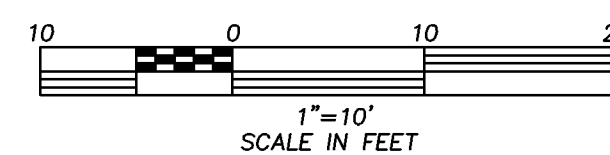
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TOWNHOME DETAIL
UNITS 6-10 & 11-14



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