

\\MYCLOUDPR41001-public\w\18002 GARDEN PARK\dwg\18002_GARDEN_PARK_FINAL_rev GATED ENTRANCE 14_base_LATHAM 29NOV17.dwg, 1/25/2021 11:25:34

RECORDING DATA

Type: GEORGIA STANDARD PLATS
Recorded: 2/10/2021 12:26:00 PM
Fee Amt: \$130.00 Page 1 of 13
Forsyth County, GA
Greg G. Allen Clerk Superior Ct

Participant ID: 2301904319

BK 194 PG 133 - 145

ARCHITECTURAL ELEVATIONS REQUIRED

GIS MONUMENT TABLE with columns: MONUMENT #, ELEVATION, NORTHING, EASTING. Rows include MON 3367-01, 02, 03.

GARDEN PARK SITE DATA:

- 1. BOARD OF COMMISSIONERS APPROVAL: DECEMBER 17, 2015
2. PARCEL#s: 055 015 & 055 016
3. EXISTING ZONING: RES3
4. NUMBER OF LOTS: 28 LOTS
5. TOTAL AREA: 13.86 ACRES
6. TOTAL DISTURBED AREA: 11.55 ACRES
7. DENSITY: 0.50 LOTS / ACRE
8. TOTAL LOT AREA: 9.69 ACRES
9. AVERAGE LOT AREA: 0.35 ACRES
10. PRIVATE ROADS: 1.77 ACRES
11. OPEN SPACE: 2.08 ACRES (15.00% OF TOTAL AREA - SEE SHEET 4)
12. DETENTION / Wq: 0.32 ACRES (NOT USED IN OPEN SPACE CALCULATIONS)

RES3 PERFORMANCE STANDARDS:

- 1. MINIMUM LOT SIZE: 14,750 SF
2. MINIMUM LOT WIDTH: 70 FT
3. MINIMUM OPEN SPACE: 15 % OF TOTAL SITE AREA
4. MINIMUM FRONT SETBACK: 25 FT
5. MINIMUM SIDE SETBACK: 5 FT W/ MIN 20' BETWEEN STRUCTURES
6. MINIMUM INTERIOR REAR SETBACK = 25 FT
7. MINIMUM EXTERIOR REAR SETBACK = 50 FT
8. MINIMUM 2,300 SF OF HEATED FLOOR SPACE, EXCLUSIVE OF GARAGES AND UNFINISHED BASEMENTS

THE AS-BUILT DETENTION / WATER QUALITY FEATURE PROVIDES THE STORAGE VOLUMES AND OUTFLOW RATES AS REQUIRED BY THE APPROVED CONSTRUCTION PLANS AND HYDROLOGY STUDY. THE AS-BUILT STORM DRAINAGE SYSTEM WILL FUNCTION AS DESIGNED/ENGINEERED IN THE APPROVED CONSTRUCTION DRAWINGS.

D.M. BENNETT, GEORGIA PE #19305 DATE 04-23-2020

I CERTIFY THAT THE WATER DISTRIBUTION SYSTEM AND THE SANITARY SEWER SYSTEM DEPICTED BY THIS AS-BUILT DRAWING WAS CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE FCDWS. THE INFORMATION SUBMITTED ON THIS AS-BUILT DRAWING IS TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE.

D.M. BENNETT, GEORGIA PE #19305 DATE 04-23-2020

THIS SUBDIVISION IS SUBJECT TO THE COVENANTS AND RESTRICTIONS RECORDED IN DEED BOOK 9834, PAGES 89-158

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 21,252 FEET AND AN ANGULAR PRECISION OF 5 SECONDS PER SETUP AND WAS ADJUSTED USING THE LEAST SQUARES RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 682,428 FEET.

THE EQUIPMENT USED IN THE PREPARATION IS: LINEAR: TRIMBLE S6 ANGULAR: TRIMBLE S6

"PURSUANT TO THE UNIFIED DEVELOPMENT CODE OF FORSYTH COUNTY, GEORGIA, AND ALL REQUIREMENTS OF APPROVAL HAVING BEEN FULFILLED, THIS FINAL PLAT WAS GIVEN APPROVAL BY ALL REVIEWING DEPARTMENTS, WITH FINAL APPROVAL BY THE DIRECTOR, OR A DESIGNEE OF THE PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT. THE ISSUING AUTHORITY FOR FORSYTH COUNTY, THIS FINAL PLAT IS ENTITLED TO RECORDATION IN THE CLERK'S OFFICE, FORSYTH COUNTY SUPERIOR COURT, ON OR AFTER THE DATE AS INDICATED ON THE PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT APPROVAL STAMP AS FOUND ON THE COVER SHEET OF THESE PLANS."

FINAL PLAT GARDEN PARK

Table with columns: SHEET #, SHEET TITLE. Rows 1-13 listing various plan components like COVER, ADDRESS, ZONING RESOLUTION, etc.

FORSYTH COUNTY BOARD OF COMMISSIONERS WORK SESSION, JULY 14, 2020.

IV. Items for Consideration and Discussion

(15) Board consideration and approval for Garden Park Subdivision private street - Director, Department of Engineering

There was a motion by Commissioner Levent and a second by Commissioner Mills to approve the Garden Park Subdivision private street. Motion carried unanimously.

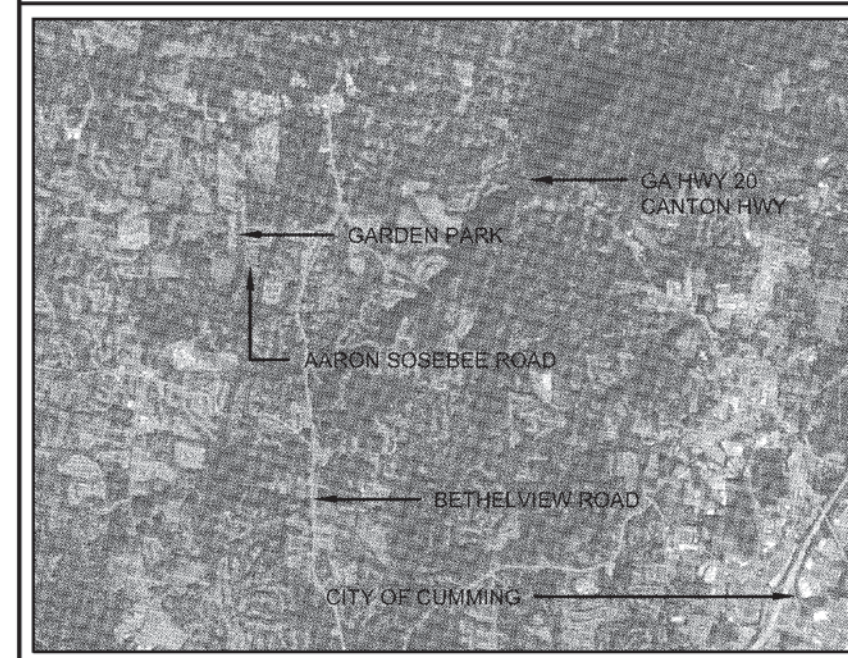
"IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY BY ME OR PERSONS UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS 'FUTURE,' AND THAT THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN; AND THAT ALL ENGINEERING REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE OF FORSYTH COUNTY, GEORGIA, HAVE BEEN FULLY COMPLIED WITH."

BY: [Signature] GEORGIA REGISTERED LAND SURVEYOR NO. 966

OWNERS:

ADE 711, LLC
5665 ATLANTA HWY
STE 103-205
ALPHARETTA, GA 30004

LOCATION MAP



CERTIFICATE OF DEDICATION

ALL WATER AND SEWER LINES INSTALLED WITHIN THE GENERAL PURPOSE PUBLIC ACCESS AND UTILITY EASEMENT(S) SHOWN ON THIS PLAT FOR PRIVATE STREET(S) ARE HEREBY DEDICATED TO FORSYTH COUNTY.

[Signature] PROPERTY OWNER: DANNY BENNETT ON BEHALF OF ADE 711, LLC

PROPERTY OWNER

WARNING: FORSYTH COUNTY HAS NO RESPONSIBILITY TO BUILD, IMPROVE, MAINTAIN, OR OTHERWISE SERVICE THE PRIVATE STREETS, DRAINAGE IMPROVEMENTS, AND OTHER APPURTENANCES CONTAINED WITHIN THE GENERAL PURPOSE ACCESS AND UTILITY EASEMENT OR EASEMENTS FOR PRIVATE STREETS SHOWN ON THIS PLAT.

GRANT OF EASEMENT

THE GENERAL PURPOSE PUBLIC ACCESS AND UTILITY EASEMENT(S) SHOWN ON THIS PLAT FOR PRIVATE STREET(S) IS HEREBY GRANTED AND SAID GRANT OF RIGHTS SHALL BE LIBERALLY CONSTRUED TO PROVIDE ALL NECESSARY AUTHORITY TO THE COUNTY, AND TO PUBLIC OR PRIVATE UTILITY COMPANIES SERVING THE SUBDIVISION, FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES, INCLUDING, BUT NOT LIMITED TO ELECTRIC LINES, GAS LINES, TELEPHONE LINES, WATER LINES, SEWER LINES, CABLE TELEVISION LINES, AND FIBER OPTIC CABLES, TOGETHER WITH THE RIGHT TO TRIM INTERFERING TREES AND BRUSH, TOGETHER WITH A PERPETUAL RIGHT OF INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES.

[Signature] PROPERTY OWNER: DANNY BENNETT ON BEHALF OF ADE 711, LLC

SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF:

[Signatures of witnesses and notary public]

APPROVAL STAMPS:

Grid of approval stamps from various departments including FC GIS, Tree Protection, Board of Tax Assessors, Department of Engineering, and Planning & Community Development.

GENERAL NOTES:

- 1. IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED COUNTY RIGHT OF WAY AND ARE CONSIDERED TO BE A VIOLATION OF THE COUNTY'S ORDINANCE PROHIBITING UNPERMITTED RIGHT OF WAY ENCROACHMENTS.
2. FORSYTH COUNTY SHALL NOT BE RESPONSIBLE FOR MAINTENANCE ON ANY PIPES, DITCHES, DETENTION PONDS, OR OTHER STRUCTURES WITHIN ANY DRAINAGE EASEMENT BEYOND THE COUNTY RIGHT-OF-WAY.
3. NO STRUCTURES, FENCES OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRAINAGE OR ACCESS EASEMENT WITHOUT PRIOR APPROVAL BY THE FORSYTH COUNTY DEPARTMENT OF ENGINEERING.
4. THIS PROPERTY DOES LIE WITHIN A FLOOD HAZARD AREA PER FIRM COMMUNITY-PANEL NO. 13117C0130G, DATED: JUNE 7, 2019
5. WATER SUPPLY: PUBLIC BY FORSYTH COUNTY.
6. WASTE-WATER SYSTEM: PUBLIC BY FORSYTH COUNTY.
7. NO POOL BACKWASH, FOUNTAIN, SPA, DUMPSTER PAD DRAINS, OR DRAIN LINES MAY DISCHARGE INTO THE STORMWATER SYSTEM.
8. DOWNSPOUTS AT REAR OF ALL HOUSES SHALL DRAIN TO GRASSED PERVIOUS AREAS OR EQUIVALENT WITH RESPECT TO WATER QUALITY THESE AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE GEORGIA STORMWATER MANAGEMENT MANUAL
9. ALL STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE GEORGIA STATE MINIMUM STANDARD CODES, AS ADOPTED AND AMENDED BY THE GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS. APPROVAL OF THIS PERMIT WILL NOT JUSTIFY ANY DEVIATION IN THE FIRE SEPARATION DISTANCE REQUIREMENTS OF THE GEORGIA STATE MINIMUM STANDARDS.

SEWER AND WATER NOTES:

- 1. UPON RECORDING OF THIS PLAT, ALL SANITARY SEWER EASEMENTS ARE DEDICATED TO FORSYTH COUNTY WATER & SEWER DEPARTMENT.
2. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR A PERIOD OF 18 MONTHS AFTER THE RECORDING DATE OF THE FINAL PLAT.
3. STRUCTURES OR FENCES WILL NOT BE ALLOWED IN SANITARY SEWER EASEMENTS, UTILITY EASEMENTS, OR ACCESS EASEMENTS.
4. SANITARY SEWER SOURCE & WATER SOURCE IS THE FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.

PLANNING NOTES:

- 1. BUILDING HEIGHT: THE VERTICAL DISTANCE ON THE FRONT FACE OF A BUILDING OR STRUCTURE FROM THE FINISHED GRADE AT THE LOWEST POINT AT THE FOUNDATION ADJACENT TO THE FRONT SIDE OF THE STRUCTURE TO THE HIGHEST FINISHED ROOF SURFACE IN THE CASE OF FLAT ROOFS; OR IN THE CASE OF A GABLE, HIP, OR GAMBREL ROOF, THE MEAN HEIGHT BETWEEN THE EAVES AND THE RIDGE OF A GABLE, HIP OR GAMBREL ROOF.
2. REINFORCED WALL SYSTEMS NECESSARY FOR PROPOSED LOTS AFTER THE REVIEW AND APPROVAL OF THIS FINAL PLAT MAY REQUIRE A REVISION TO THE FINAL PLAT TO ADJUST FOR BUILDING OFFSETS; OR THE ROAD CONSTRUCTION PLAN TO ADDRESS DESIGN ISSUES.

ARBORIST NOTE:

EACH LOT SHALL CONTAIN A MINIMUM OF TWO TREES, AT LEAST ONE OF WHICH MUST BE LOCATED IN THE FRONT YARD. CORNER LOTS SHALL CONTAIN A MINIMUM OF THREE TREES WITH AT ONE TREE LOCATED IN EACH YARD ABUTTING THE STREETS. THE REQUIRED TREES MUST BE A MINIMUM OF 2-INCH CALIPER IN SIZE AND BE AN OVERSTORY HARDWOOD SPECIES.

I CERTIFY THAT THE ENTRY TO THIS SUBDIVISION MEETS THE REQUIREMENTS OF CHAPTER IX "AT GRADE INTERSECTIONS" OF ASHTO "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS", LATEST EDITION.

[Signature] DATE 24 NOV 2020 D.M. BENNETT, GEORGIA PE #19305

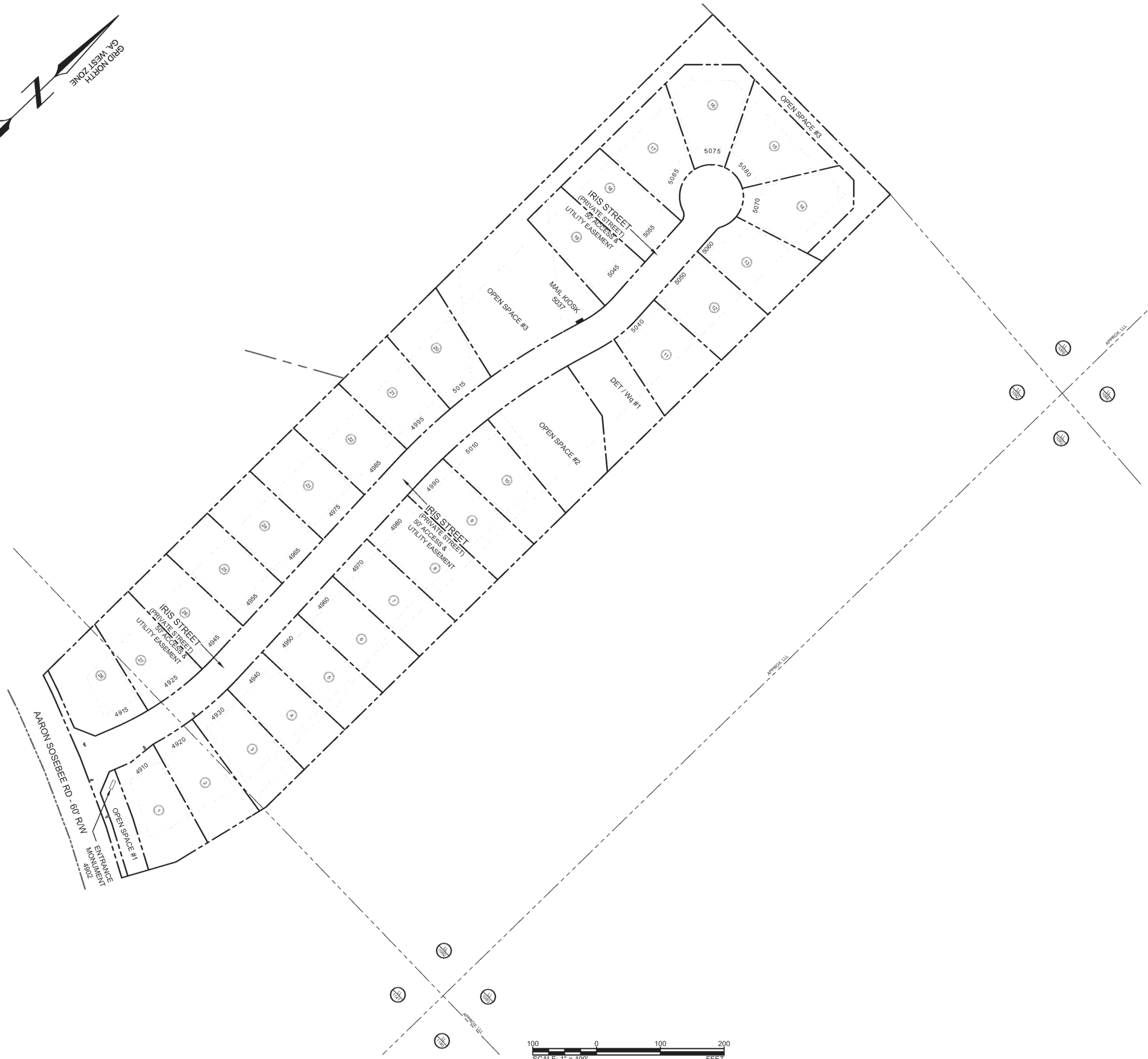
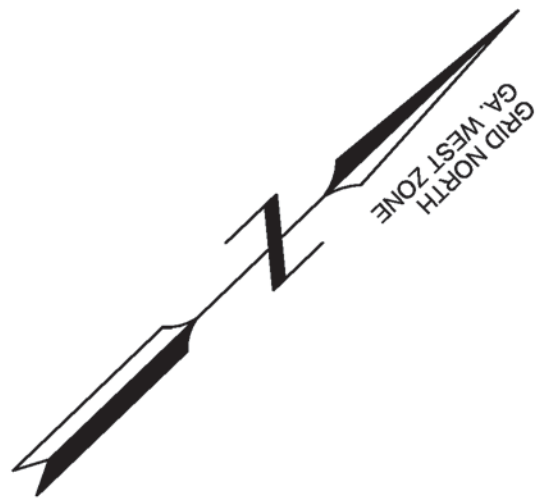
Shirey, Nelson and Associates, Inc. logo and contact information including address and phone number.

FINAL PLAT - COVER SHEET GARDEN PARK. LOCATED IN: LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION, FORSYTH COUNTY, GEORGIA. PREPARED FOR: ADE 711, LLC



SURVEY DATE: NOV 29, 2017. PLAT DATE: MAR 09, 2020. PLAT SCALE: 1" = N/A. JOB NO: 18002-GARDEN PARK SHEET 1 OF 13 SHEETS

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FINAL PLAT - ADDRESS SHEET GARDEN PARK

LOCATED IN:
LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION,
FORSYTH COUNTY, GEORGIA

PREPARED FOR:
ADE 711, LLC



SURVEY DATE: NOV 29, 2017
PLAT DATE: MAR 09, 2020
PLAT SCALE: 1" = 100'

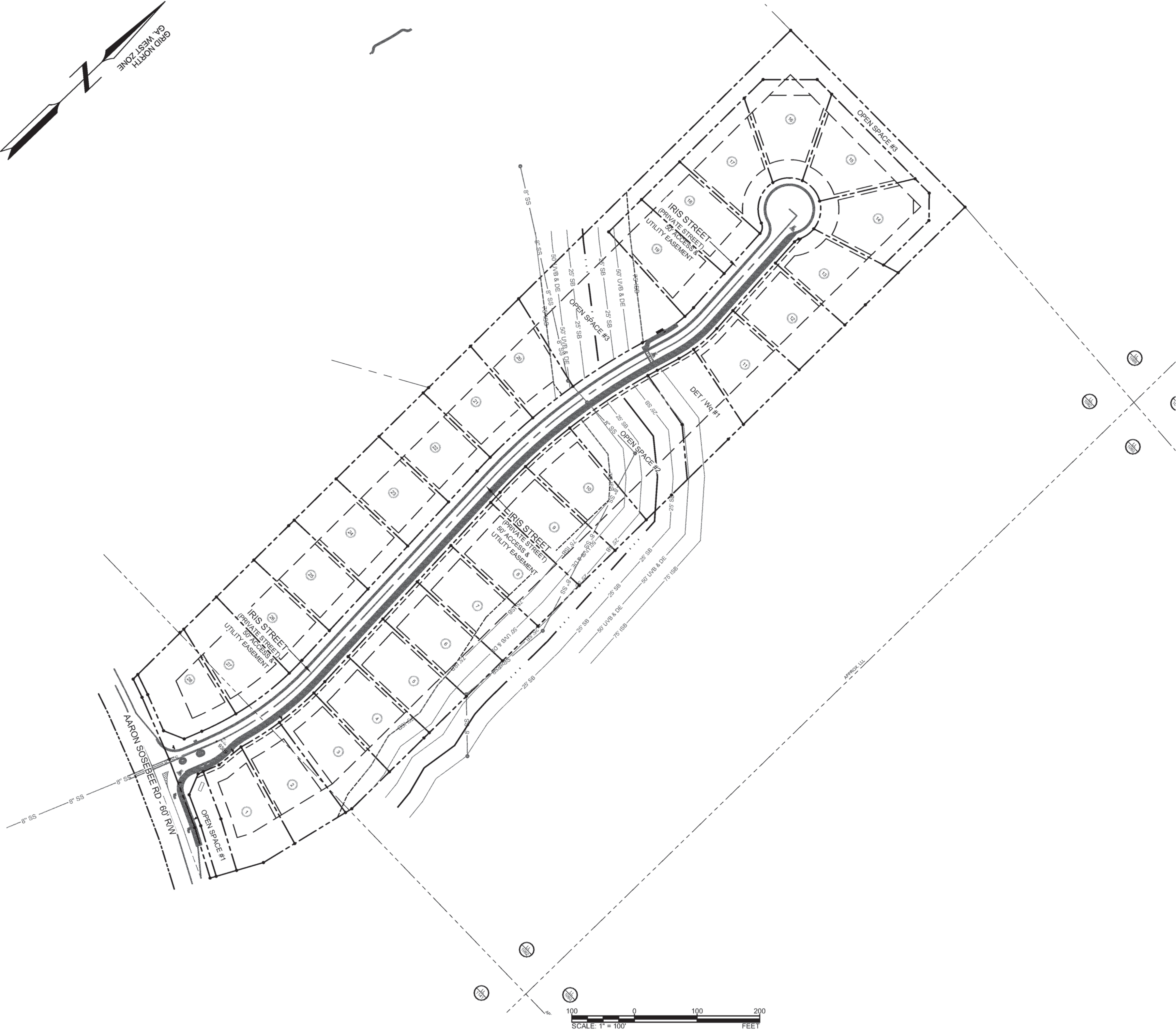
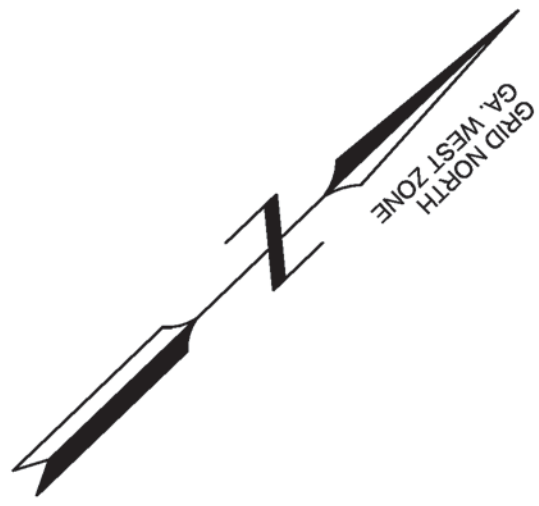
**JOB NO: 18002-
GARDEN PARK**
SHEET 2 OF 13 SHEETS

e-mail: george@shireynelson.com
 Land Surveying
 Civil Engineering
 Site Planning
 Hydrology

Shirey, Nelson and Associates, Inc.

2295 Dismore Road
 Alpharetta, Georgia 30004
 Telephone: (770)442-3785

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FINAL PLAT - OVERALL SHEET GARDEN PARK

LOCATED IN:
LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION,
FORSYTH COUNTY, GEORGIA

PREPARED FOR:
ADE 711, LLC



SURVEY DATE: **NOV 29, 2017**
PLAT DATE: **MAR 09, 2020**
PLAT SCALE: **1" = 100'**

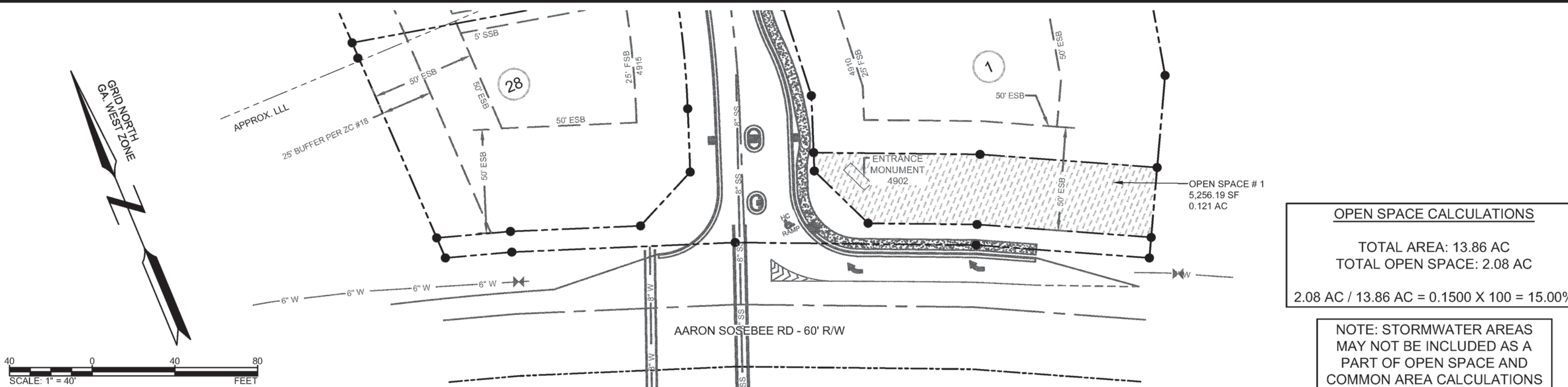
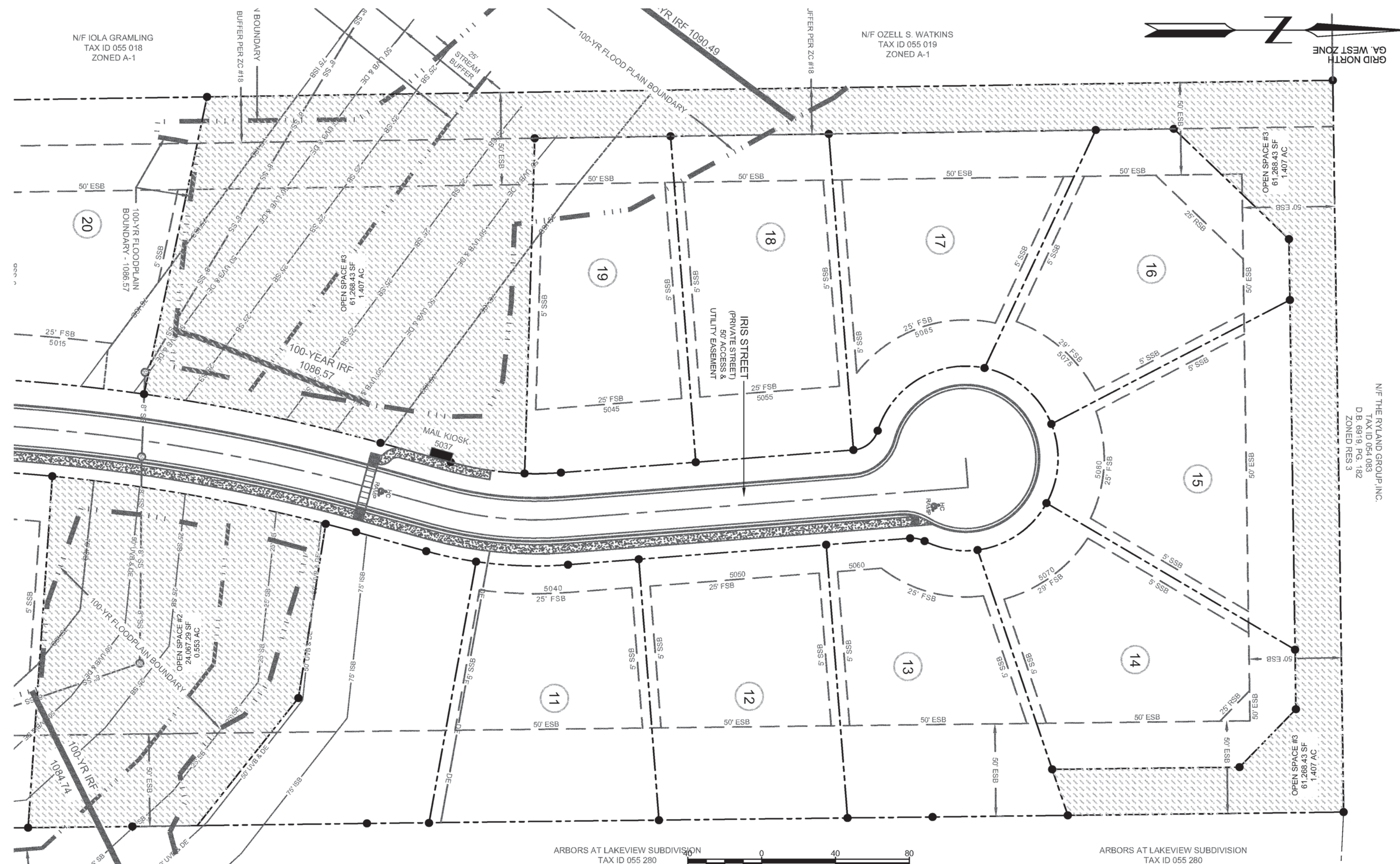
**JOB NO: 18002-
GARDEN PARK**
SHEET **3** OF **13** SHEETS

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OPEN SPACE CALCULATIONS	
TOTAL AREA:	13.86 AC
TOTAL OPEN SPACE:	2.08 AC
$2.08 \text{ AC} / 13.86 \text{ AC} = 0.1500 \times 100 = 15.00\%$	

NOTE: STORMWATER AREAS MAY NOT BE INCLUDED AS A PART OF OPEN SPACE AND COMMON AREA CALCULATIONS

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Shirey, Nelson and Associates, Inc.

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Alpharetta, Georgia 30004

Telephone (770)442-3785

e-mail: george@shireynelson.com

FINAL PLAT - OPEN SPACE GARDEN PARK

LOCATED IN:
LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION,
FORSYTH COUNTY, GEORGIA

PREPARED FOR:
ADE 711, LLC



SURVEY DATE: NOV 29, 2017
PLAT DATE: MAR 09, 2020
PLAT SCALE: 1" = 40'

JOB NO: 18002-GARDEN PARK
SHEET 4 OF 13 SHEETS

**A RESOLUTION
BY
THE BOARD OF COMMISSIONERS OF FORSYTH COUNTY, GEORGIA**

WHEREAS, a request has been received that this Board further amend the Unified Development Code of Forsyth County, Georgia, adopted May 22, 2000, as amended, together with the zoning maps likewise duly adopted and amended, and,

WHEREAS, Zoning Application Number ZA 83757 presented to the Department of Planning & Community Development which caused to be published in The Forsyth County News, a newspaper of general circulation in Forsyth County in which Sheriff's advertisements are published, a notice of hearing and,

WHEREAS, the aforesaid notice of public hearing (a copy of which is attached hereto as Exhibit "A" and incorporated herein by reference) was published more than 15 days prior to the public hearing and,

WHEREAS, the Planning Commission held a public hearing at the time and place set forth in the aforesaid notice of public hearing and,

WHEREAS, the report and recommendation of the Planning Commission (attached hereto as Exhibit "B" and incorporated herein by reference) has been received regarding the subject property described on Exhibit "C" attached hereto and incorporated herein by reference, and,

WHEREAS, this Board has considered the proposed amendment in light of the Master Plan as adopted and amended by the Planning Commission, and, has examined the views expressed at the public hearing, the subject parcel and surrounding area, the statutory zoning criteria, and the need to modify the exercise of the police power with respect to this particular parcel as such exercise relates to the comprehensive nature of the plan as set forth throughout the unincorporated area of Forsyth County, Georgia;

NOW THEREFORE BE IT RESOLVED, that the parcel described on Exhibit "C" should be, and hereby is, amended to be zoned as Single Family Residential District (SFRS) and,

BE IT FURTHER RESOLVED that the Unified Development Code of Forsyth County, Georgia, adopted May 22, 2000, as amended, and the zoning maps likewise duly adopted and amended, are hereby further amended to effect the above zoning on the subject parcel; and,

BE IT FURTHER RESOLVED that the rezoning of the parcel described on Exhibit "C" is subject to the following conditions:

CONDITIONS:

1. The developer shall dedicate right of way 40' from centerline on Aaron Soabebe Road as part of site development or when needed for road improvement projects as determined by the Department of Engineering.

Approved: *Charlene Latham* ZA 83757 Page 1

2. Any development shall tie into Forsyth County sewer system by gravity. Gravity sewer shall follow standard practice in order to minimize depth.
3. Sewer access must be provided to all upstream properties.
4. Sewer capacity is not guaranteed for this property. All sewer capacity agreements must be approved by the Forsyth County Board of Commissioners.
5. Any improvements to the water and/or sewer systems required to meet fire flow or other requirements shall be done at developer's expense.
6. There shall be no more than 28 lots allowed on the subject property.
7. All **each home** in the development shall have at least 2300 square feet of heated floor space, exclusive of garages and unfinished basements.
8. Each home in the development shall have not less than a two-car, enclosed garage. The width of the garage shall not exceed 50% of the width of the entire home.
9. All utilities shall be underground.
10. There shall be a landscaped entrance with a monument type sign.
11. There shall be a four-rail equestrian style fence installed along the road frontage on Aaron Soabebe Road.
12. Development shall have covenants that require maintenance of the landscaped entrance area, open space, and amenity areas by a homeowners association. Membership in the homeowners association is mandatory for owners of properties subject to these covenants.
13. The following restrictions shall apply regarding facade design. For purposes of calculating facade area and required building materials, windows and doors will be excluded from such calculations:
 - A. With regard to Front Facades:
 - i. A minimum of forty-five percent (45%) of all homes shall have front facades with a minimum of sixty percent (60%) brick, stone and/or shake with accents not to exceed forty percent (40%) of finished facade materials, such as, but not limited to, hard-plank lap siding.
 - ii. Up to forty-five percent (45%) of all homes may have up to seventy-five percent (75%) cement-based siding on the front facades. The overlap of any lap siding shall have a maximum reveal of six (6) inches.
 - iii. Up to ten percent (10%) of all homes may contain cement-based siding on a majority of the front facades above the water table. The overlap of any lap siding shall have a maximum reveal of six (6) inches.
 - iv. In addition to the water table requirement contained herein, the exterior materials that may be used on the side and rear facades of all homes shall be limited to brick, cultured stone (synthetic), natural stone, cement-based siding and/or shake. The overlap of any lap siding shall have a maximum reveal of six (6) inches.

Approved: *Charlene Latham* ZA 83757 Page 2

14. On homes with slab elevations, the water table shall cover all exposed foundations on sides on which a water table is constructed and shall be no less than eighteen (18) inches tall.
15. On homes with basement elevations, the water table shall be no less than eighteen (18) inches tall.
16. Developer shall provide notice to all homeowners purchasing a lot in the subdivision that adjacent properties are currently being utilized for agricultural purposes. Accordingly, the adjacent property may contain trees, shrubs and other by-products, which may not be compatible with the subject property's residential use. The owners/developers agree not to bring any action asserting the adjacent agricultural use constitutes a nuisance. Notice will also be provided to the homeowners that the adjacent agricultural properties may be developed at some point in the future.
17. A minimum of ten front-yard trees per lot is required. The trees shall be hardwood trees with a minimum caliper of two inches and shall be planted within 20 feet of the right-of-way.
18. When not prohibited by stream buffers, developer shall install a six black chain link fence adjacent to the following properties, 055-019 (Watkins), 055-018 (Cremming) and 055-017 (Watkins). The fence shall be maintained by the homeowners association of the development. There shall be a 25 foot buffer adjacent to the following properties, 055-019 (Watkins), 055-018 (Cremming) and 055-017 (Watkins). Said buffer may be graded and reported to Forsyth County buffer standards. When a fence cannot be installed, there shall be a 50 foot unshaded buffer along the western boundary adjacent to map and parcel 055-018 (Cremming) and 055-019 (Watkins).

RESOLVED, this 17th day of December 2015.

Charlene Latham
CHAIRMAN

Charlene Latham
CHAIRMAN

Approved: *Charlene Latham* ZA 83757 Page 3

Brian K. Tam
BRIAN K. TAM, SECRETARY

Jim Hoff
JIM HOFF, MEMBER

Tom Levent
TOM LEVENT, MEMBER

Approved: *Charlene Latham* ZA 83757 Page 4

Forsyth County Department of Planning & Community Development
Justin Criss, Planner II

January 4, 2018

Charlene Latham
117 N Main Street
Cumming, GA 30041

RE: ZA 83757
Map and Parcel Numbers: 015, 018
Acres: 13.862

TO WHOM IT MAY CONCERN:

This is to certify that at their regular meeting on December 17, 2015 the Forsyth County Board of Commissioners approved the rezoning request to rezone from Agricultural District (A1) to Single Family Residential District (SFRS) with the following conditions:

CONDITIONS:

1. The developer shall dedicate right of way 40' from centerline on Aaron Soabebe Road as part of site development or when needed for road improvement projects as determined by the Department of Engineering.
2. Any development shall tie into Forsyth County sewer system by gravity. Gravity sewer shall follow standard practice in order to minimize depth.
3. Sewer access must be provided to all upstream properties.
4. Sewer capacity is not guaranteed for this property. All sewer capacity agreements must be approved by the Forsyth County Board of Commissioners.
5. Any improvements to the water and/or sewer systems required to meet fire flow or other requirements shall be done at developer's expense.
6. There shall be no more than 28 lots allowed on the subject property.
7. All **each home** in the development shall have at least 2300 square feet of heated floor space, exclusive of garages and unfinished basements.

110 N. Main Street, Suite 100 | Cumming, Georgia 30041 | (770) 761-2115 | bney@co.forsyth.ga.us

8. Each home in the development shall have not less than a two-car, enclosed garage. The width of the garage shall not exceed 50% of the width of the entire home.
9. All utilities shall be underground.
10. There shall be a landscaped entrance with a monument type sign.
11. There shall be a four-rail equestrian style fence installed along the road frontage on Aaron Soabebe Road.
12. Development shall have covenants that require maintenance of the landscaped entrance area, open space, and amenity areas by a homeowners association. Membership in the homeowners association is mandatory for owners of properties subject to these covenants.
13. The following restrictions shall apply regarding facade design. For purposes of calculating facade area and required building materials, windows and doors will be excluded from such calculations:
 - A. With regard to Front Facades:
 - i. A minimum of forty-five percent (45%) of all homes shall have front facades with a minimum of sixty percent (60%) brick, stone and/or shake with accents not to exceed forty percent (40%) of finished facade materials, such as, but not limited to, hard-plank lap siding.
 - ii. Up to forty-five percent (45%) of all homes may have up to seventy-five percent (75%) cement-based siding on the front facades. The overlap of any lap siding shall have a maximum reveal of six (6) inches.
 - iii. Up to ten percent (10%) of all homes may contain cement-based siding on a majority of the front facades above the water table. The overlap of any lap siding shall have a maximum reveal of six (6) inches.
 - iv. In addition to the water table requirement contained herein, the exterior materials that may be used on the side and rear facades of all homes shall be limited to brick, cultured stone (synthetic), natural stone, cement-based siding and/or shake. The overlap of any lap siding shall have a maximum reveal of six (6) inches.
 - C. Unless otherwise stated in these conditions, all homes shall include a brick and/or stone water table on the front and sides and wing walls of each home. In this regard, all water tables shall adhere to the following minimum requirements:
 - i. On homes with slab elevations, the water table shall cover all exposed foundations on sides on which a water table is constructed and shall be no less than eighteen (18) inches tall.
 - ii. On homes with basement elevations, the water table shall be no less than eighteen (18) inches tall.

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14. On homes with slab elevations, the water table shall cover all exposed foundations on sides on which a water table is constructed and shall be no less than eighteen (18) inches tall.
15. On homes with basement elevations, the water table shall be no less than eighteen (18) inches tall.
16. Developer shall provide notice to all homeowners purchasing a lot in the subdivision that adjacent properties are currently being utilized for agricultural purposes. Accordingly, the adjacent property may contain trees, shrubs and other by-products, which may not be compatible with the subject property's residential use. The owners/developers agree not to bring any action asserting the adjacent agricultural use constitutes a nuisance. Notice will also be provided to the homeowners that the adjacent agricultural properties may be developed at some point in the future.
17. A minimum of ten front-yard trees per lot is required. The trees shall be hardwood trees with a minimum caliper of two inches and shall be planted within 20 feet of the right-of-way.
18. When not prohibited by stream buffers, developer shall install a six black chain link fence adjacent to the following properties, 055-019 (Watkins), 055-018 (Cremming) and 055-017 (Watkins). The fence shall be maintained by the homeowners association of the development. There shall be a 25 foot buffer adjacent to the following properties, 055-019 (Watkins), 055-018 (Cremming) and 055-017 (Watkins). Said buffer may be graded and reported to Forsyth County buffer standards. When a fence cannot be installed, there shall be a 50 foot unshaded buffer along the western boundary adjacent to map and parcel 055-018 (Cremming) and 055-019 (Watkins).

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Shirey, Nelson and Associates, Inc.

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Civil Engineering
Site Planning
Hydrology

2295 Dismore Road
Alpharetta, Georgia 30004
Telephone (770) 442-3785

e-mail: george@shireynelson.com

**FINAL PLAT - ZONING
GARDEN PARK**

LOCATED IN:
LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION,
FORSYTH COUNTY, GEORGIA

PREPARED FOR:
ADE 711, LLC



SURVEY DATE: NOV 29, 2017
PLAT DATE: MAR 09, 2020
PLAT SCALE: 1" = N/A

JOB NO: 18002-GARDEN PARK
SHEET 5 OF 13 SHEETS

\\MYCLOUDPR4100\public\ISNA18002_GARDEN PARK\dwg\18002_GARDEN_PARK_FINAL_rev GATED ENTRANCE 14_base_LATHAM 29NOV17.dwg, 1/25/2021 11:26:09

LINE TABLE		
LINE #	DISTANCE	BEARING
L1	36.27'	N23°13'15"W
L2	8.91'	N20°20'41"E
L3	80.51'	S66°47'04"E
L4	85.90'	S63°10'17"E
L5	33.90'	S27°31'29"W
L6	84.42'	N63°10'17"W
L7	52.71'	N66°47'00"W
L8	58.33'	S12°24'45"W
L9	44.72'	S27°31'29"W
L10	27.55'	N20°20'41"E
L11	45.26'	N04°45'18"E
L12	176.31'	S75°16'32"E
L13	95.00'	S12°24'45"W
L14	178.38'	S82°29'47"E
L15	11.68'	S12°24'45"W
L16	174.25'	N89°58'51"E
L17	84.25'	S00°40'49"E
L18	54.61'	N03°26'14"W
L19	177.63'	N86°53'50"E
L20	89.16'	S00°40'49"E
L21	181.62'	N86°33'46"E
L22	82.92'	S00°40'49"E
L23	81.79'	N03°26'14"W
L24	80.75'	N03°26'14"W
L25	185.51'	N86°33'46"E
L26	80.84'	S00°40'49"E
L27	79.01'	N03°26'14"W
L28	189.31'	N86°33'46"E
L29	79.11'	S00°40'49"E
L30	93.56'	N03°26'14"W
L31	193.77'	N86°53'50"E
L32	92.53'	S00°40'49"E
L33	21.84'	N03°26'14"W
L34	195.88'	N86°53'50"E
L35	79.99'	S00°40'49"E

LINE TABLE		
LINE #	DISTANCE	BEARING
L36	190.77'	S86°03'18"E
L37	69.70'	S00°40'49"E
L38	95.43'	S81°03'41"E
L39	88.17'	S51°34'38"E
L40	35.11'	S00°45'11"E
L41	56.49'	S00°40'49"E
L42	143.63'	S79°46'34"E
L43	33.63'	S00°39'00"E
L44	91.98'	S00°45'11"E
L45	39.39'	N15°19'10"E
L46	38.43'	N04°25'28"W
L47	141.64'	N85°34'32"E
L48	124.54'	S00°39'00"E
L49	148.37'	N85°31'22"E
L50	102.20'	S00°39'00"E
L51	101.84'	N04°25'28"W
L52	125.47'	N71°12'01"E
L53	26.30'	N71°12'01"E
L54	73.30'	S00°40'49"E
L55	46.05'	S00°39'00"E
L56	45.60'	N04°25'28"W
L57	156.30'	N30°30'55"E
L58	32.23'	N89°09'06"E
L59	43.78'	S45°45'51"E
L60	145.61'	N27°28'04"W
L61	189.39'	N89°09'06"E
L62	86.34'	N43°45'12"E
L63	32.95'	N89°09'06"E
L64	142.27'	N64°56'04"W
L65	42.31'	N00°50'38"W
L66	171.67'	S85°32'46"W
L67	144.63'	N00°50'38"W
L68	85.66'	S04°25'28"E
L69	177.02'	S85°34'32"W
L70	85.74'	N00°50'38"W

LINE TABLE		
LINE #	DISTANCE	BEARING
L71	181.56'	N88°15'40"W
L72	73.58'	N00°50'38"W
L73	73.27'	S04°25'28"E
L74	39.39'	S15°19'10"W
L75	164.49'	N78°01'26"W
L76	609.89'	N00°50'39"W
L77	396.26'	N89°09'06"E
L78	149.40'	S00°40'49"E
L79	101.51'	S00°40'49"E
L80	151.36'	N87°13'33"W
L81	107.99'	N00°50'39"W
L82	148.37'	S87°35'33"W
L83	12.11'	N00°50'39"W
L84	94.01'	N00°50'39"W
L85	66.95'	S03°26'14"E
L86	152.38'	S86°58'33"W
L87	99.10'	N00°50'39"W
L88	95.82'	S03°26'14"E
L89	156.73'	S86°53'50"W
L90	96.10'	N00°50'39"W
L91	160.97'	S86°53'50"W
L92	93.84'	N00°50'39"W
L93	93.77'	S03°26'14"E
L94	165.08'	S86°51'58"W
L95	78.10'	N00°50'39"W
L96	12.57'	N00°50'39"W
L97	90.51'	S03°26'14"E
L98	64.51'	S03°26'14"E
L99	168.32'	N89°55'58"W
L100	83.82'	N00°50'39"W
L101	158.65'	N77°55'00"W
L102	73.39'	N00°50'39"W
L107	30.63'	S20°20'42"W
L117	35.42'	S65°14'16"W
L208	62.98'	N69°52'10"W

LINE TABLE		
LINE #	DISTANCE	BEARING
L214	35.81'	N72°25'40"W
L215	102.88'	N00°50'39"W
L216	10.00'	S27°31'29"W
L217	83.98'	N63°10'17"W
L218	116.59'	N66°47'10"W
L219	108.10'	N69°52'10"W
L220	32.26'	N72°25'40"W
L221	10.54'	N00°50'39"W

CURVE TABLE				
CURVE #	ARC LENGTH	RADIUS	CHORD DISTANCE	CHORD BEARING
C1	72.70'	525.00'	72.64'	N11° 10' 46"E
C2	72.48'	525.00'	72.42'	N03° 15' 27"E
C3	25.11'	525.00'	25.10'	N02° 04' 02"W
C4	58.10'	975.00'	58.10'	N01° 43' 48"W
C5	93.56'	975.00'	93.53'	N02° 43' 35"E
C6	150.48'	975.00'	150.34'	N09° 53' 49"E
C7	27.61'	225.00'	27.59'	N11° 48' 15"E
C8	17.03'	975.00'	17.03'	N14° 49' 09"E
C9	49.93'	225.00'	49.82'	N01° 55' 56"E
C10	8.09'	15.00'	7.99'	N11° 01' 37"E
C11	29.53'	50.00'	29.10'	N09° 33' 41"E
C12	46.85'	50.00'	45.15'	N34° 11' 50"W
C13	44.37'	50.00'	42.92'	N86° 27' 32"W
C14	49.21'	50.00'	47.25'	S39° 55' 28"W
C15	73.54'	50.00'	67.09'	S30° 24' 24"E
C16	17.83'	15.00'	16.80'	S38° 28' 57"E
C19	19.69'	175.00'	19.68'	S01° 12' 01"E
C20	40.61'	175.00'	40.52'	S08° 40' 18"W
C21	130.87'	1025.00'	130.78'	S11° 39' 43"W
C22	81.60'	1025.00'	81.58'	S05° 43' 25"W
C23	92.60'	1025.00'	92.56'	S00° 51' 18"W
C24	30.49'	1025.00'	30.49'	S02° 35' 06"E
C25	28.65'	475.00'	28.65'	S01° 42' 33"E
C26	107.31'	475.00'	107.08'	S06° 29' 27"W
C27	61.20'	475.00'	61.16'	S16° 39' 15"W

PARCEL AREA TABLE		
PARCEL	SQUARE FEET	ACREAGE
DETENTION/WQ #1	14,096.91	0.324
LOT 1	14,750.50	0.339
LOT 2	14,772.93	0.339
LOT 3	14,826.23	0.340
LOT 4	14,828.44	0.340
LOT 5	14,785.38	0.339
LOT 6	14,822.66	0.340
LOT 7	14,807.91	0.340
LOT 8	17,812.30	0.409
LOT 9	15,805.80	0.358
LOT 10	15,809.23	0.363
LOT 11	14,859.84	0.341
LOT 12	14,776.95	0.339
LOT 13	14,823.35	0.340
LOT 14	15,858.66	0.364
LOT 15	15,176.86	0.348
LOT 16	15,528.37	0.356
LOT 17	14,982.36	0.344
LOT 18	14,927.25	0.343
LOT 19	14,941.98	0.343

PARCEL AREA TABLE		
PARCEL	SQUARE FEET	ACREAGE
LOT 20	14,782.32	0.339
LOT 21	14,806.66	0.340
LOT 22	14,755.43	0.339
LOT 23	14,825.74	0.340
LOT 24	14,894.51	0.342
LOT 25	14,762.43	0.339
LOT 26	14,773.92	0.339
LOT 27	14,845.86	0.341
LOT 28	14,943.05	0.343
OPEN SPACE # 1	5,256.19	0.121
OPEN SPACE #2	24,067.29	0.553
OPEN SPACE #3	61,268.43	1.407
PRIVATE ACCESS EASEMENT	77,016.74	1.768

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Hydrology

Shirey, Nelson and Associates, Inc.

2295 Dismore Road
Alpharetta, Georgia 30004
Telephone (770)442-3785

e-mail: george@shireynelson.com

FINAL PLAT - CALL TABLES
GARDEN PARK

LOCATED IN:
LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION,
FORSYTH COUNTY, GEORGIA

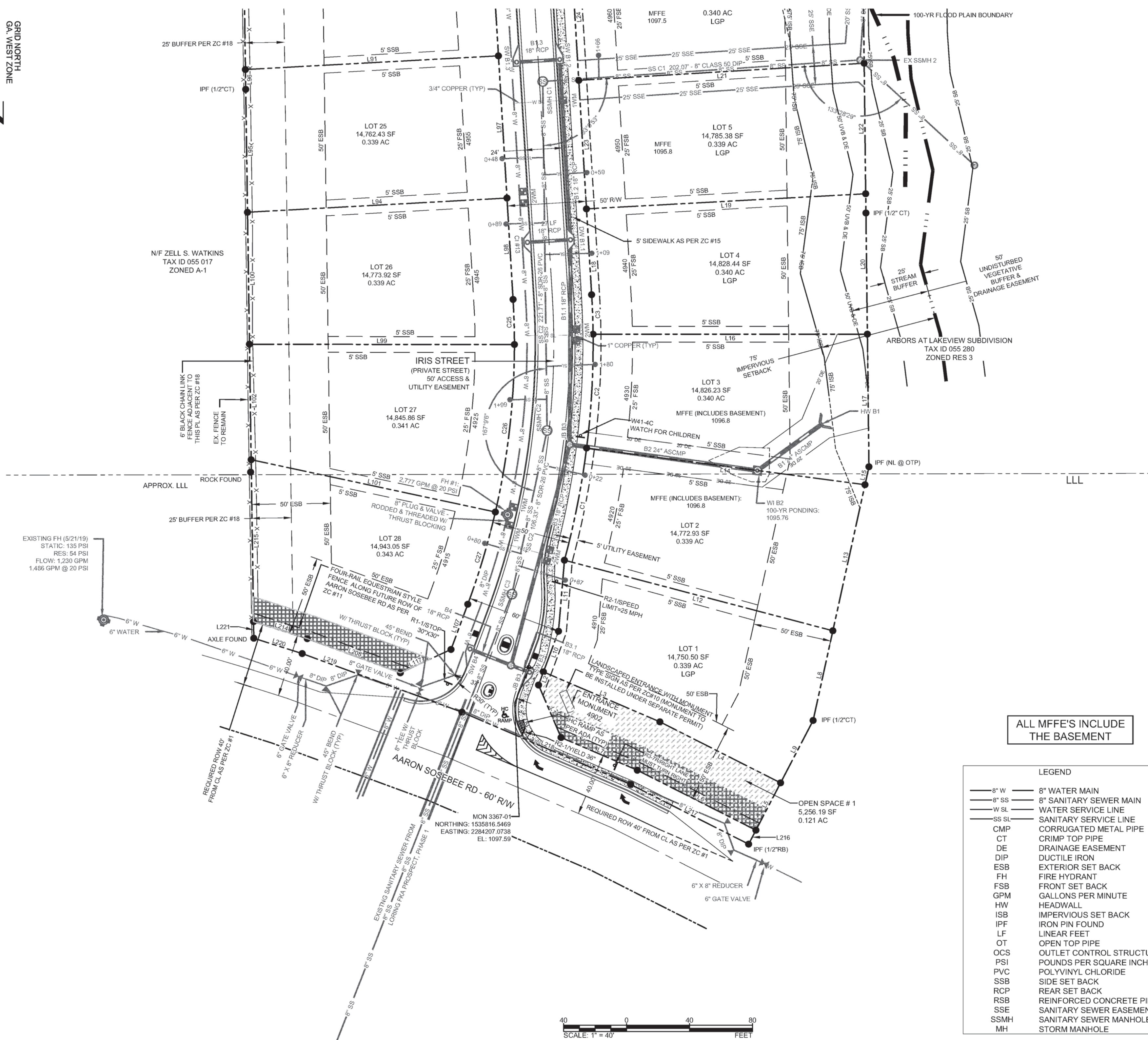
PREPARED FOR:
ADE 711, LLC



SURVEY DATE: NOV 29, 2017
PLAT DATE: MAR 09, 2020
PLAT SCALE: 1" = N/A

JOB NO: 18002-GARDEN PARK
SHEET 6 OF 13 SHEETS

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ALL MFFE'S INCLUDE THE BASEMENT

LEGEND

8" W	8" WATER MAIN
8" SS	8" SANITARY SEWER MAIN
W SL	WATER SERVICE LINE
SS SL	SANITARY SERVICE LINE
CMP	CORRUGATED METAL PIPE
CT	CRIMP TOP PIPE
DE	DRAINAGE EASEMENT
DIP	DUCTILE IRON
ESB	EXTERIOR SET BACK
FH	FIRE HYDRANT
FSB	FRONT SET BACK
GPM	GALLONS PER MINUTE
HW	HEADWALL
ISB	IMPERVIOUS SET BACK
IPF	IRON PIN FOUND
LF	LINEAR FEET
OT	OPEN TOP PIPE
OCS	OUTLET CONTROL STRUCTURE
PSI	POUNDS PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
SSB	SIDE SET BACK
RCP	REAR SET BACK
RSB	REINFORCED CONCRETE PIPE
SSE	SANITARY SEWER EASEMENT
SSMH	SANITARY SEWER MANHOLE
MH	STORM MANHOLE



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**FINAL PLAT
GARDEN PARK**

LOCATED IN:
LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION,
FORSYTH COUNTY, GEORGIA

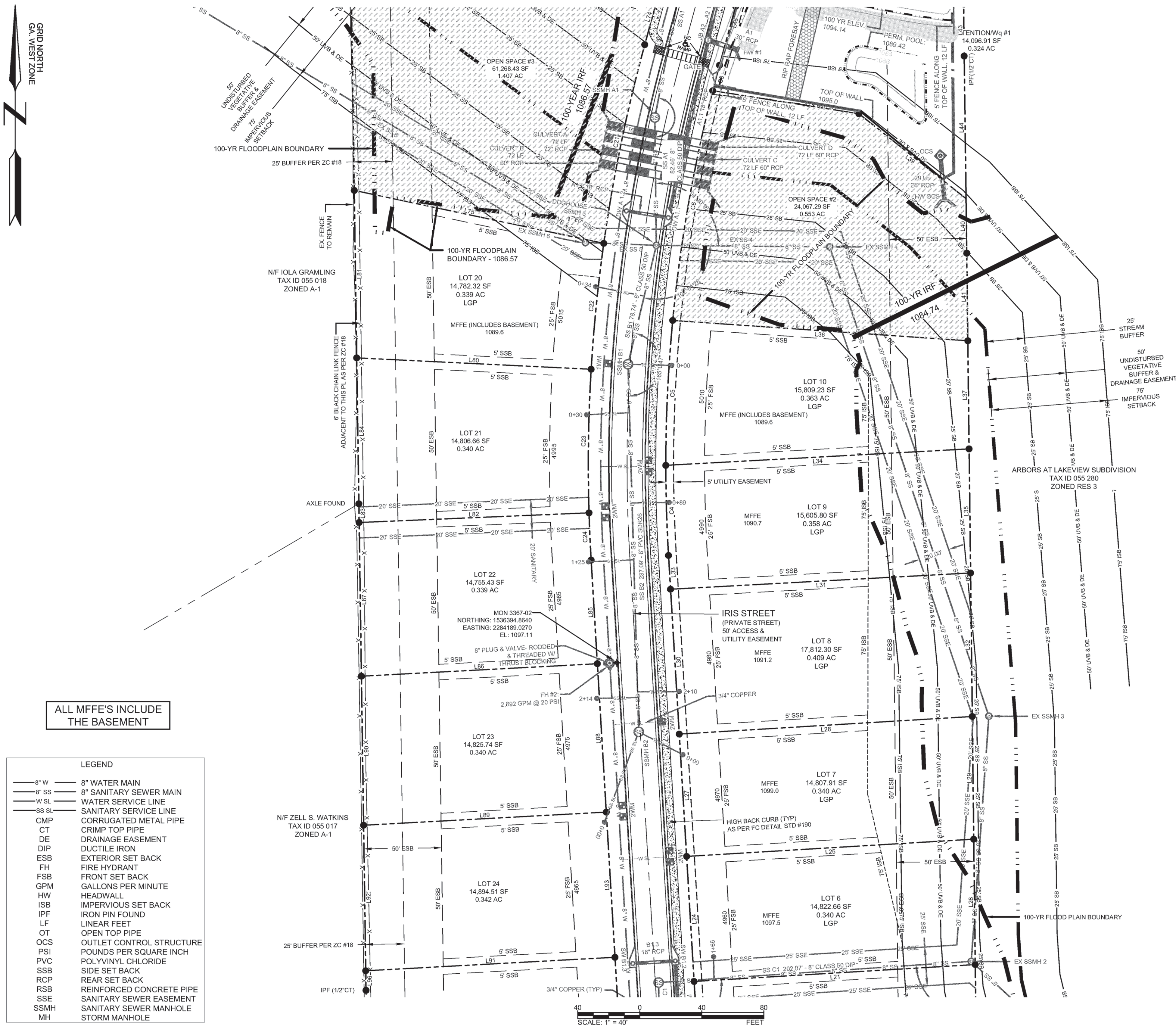
PREPARED FOR:
ADE 711, LLC



SURVEY DATE: NOV 29, 2017
PLAT DATE: MAR 09, 2020
PLAT SCALE: 1" = 40'

**JOB NO: 18002-
GARDEN PARK**
SHEET 7 OF 13 SHEETS

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ALL MFFE'S INCLUDE THE BASEMENT

LEGEND

8" W	8" WATER MAIN
8" SS	8" SANITARY SEWER MAIN
W SL	WATER SERVICE LINE
SS SL	SANITARY SERVICE LINE
CMP	CORRUGATED METAL PIPE
CT	CRIMP TOP PIPE
DE	DRAINAGE EASEMENT
DIP	DUCTILE IRON
ESB	EXTERIOR SET BACK
FH	FIRE HYDRANT
FSB	FRONT SET BACK
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IPF	IRON PIN FOUND
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**FINAL PLAN
GARDEN PARK**

LOCATED IN:
LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION,
FORSYTH COUNTY, GEORGIA

PREPARED FOR:
ADE 711, LLC

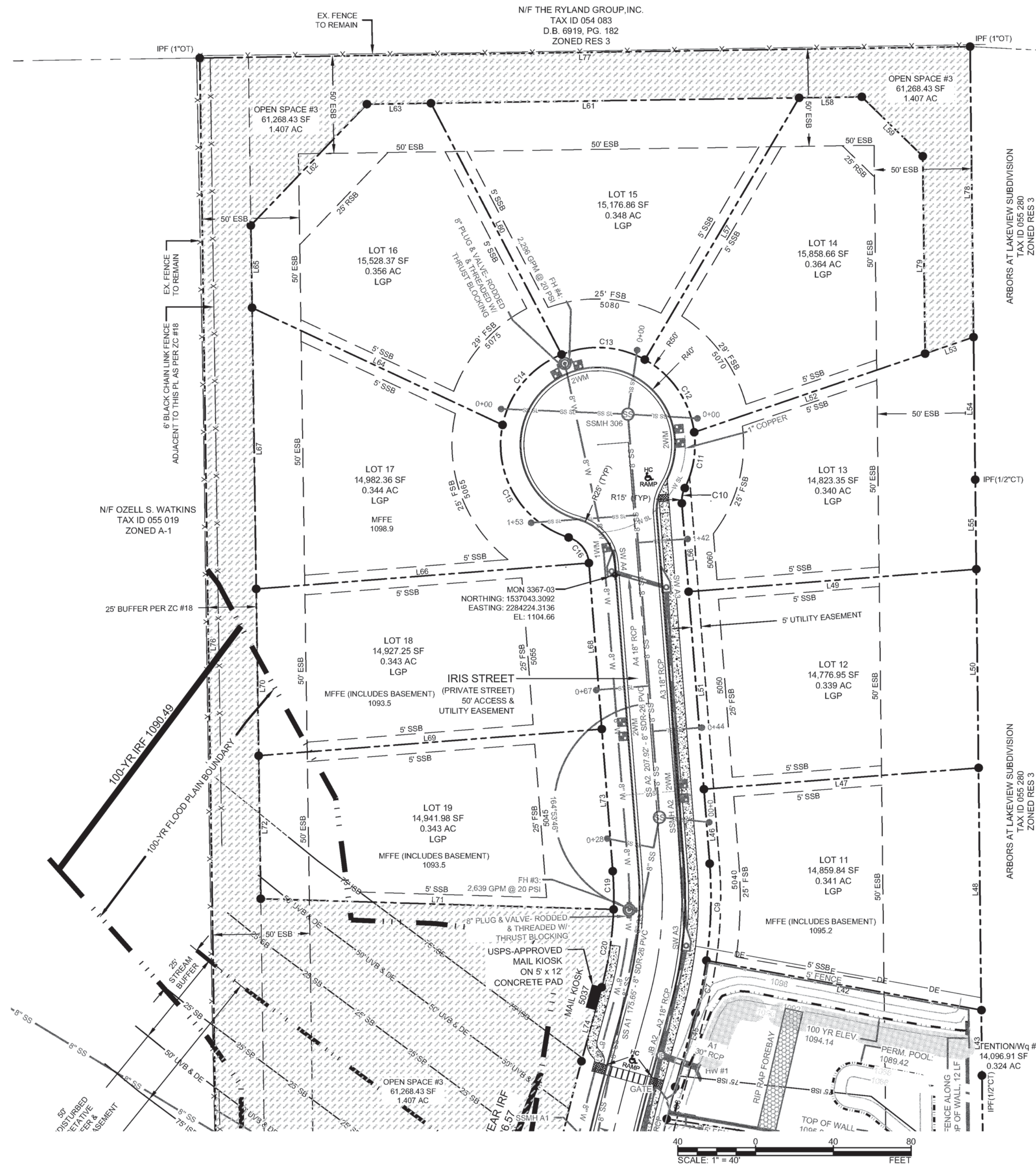


SURVEY DATE: NOV 29, 2017
PLAT DATE: MAR 09, 2020
PLAT SCALE: 1" = 40'

**JOB NO: 18002-
GARDEN PARK**
SHEET 8 OF 13 SHEETS

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GRID NORTH
GA, WEST ZONE



ALL MFFE'S INCLUDE THE BASEMENT

LEGEND

— 8" W	— 8" WATER MAIN
— 8" SS	— 8" SANITARY SEWER MAIN
— W SL	— WATER SERVICE LINE
— SS SL	— SANITARY SERVICE LINE
— CMP	— CORRUGATED METAL PIPE
— CT	— CRIMP TOP PIPE
— DE	— DRAINAGE EASEMENT
— DIP	— DUCTILE IRON
— ESB	— EXTERIOR SET BACK
— FH	— FIRE HYDRANT
— FSB	— FRONT SET BACK
— GPM	— GALLONS PER MINUTE
— HW	— HEADWALL
— ISB	— IMPERVIOUS SET BACK
— IPF	— IRON PIN FOUND
— LF	— LINEAR FEET
— OT	— OPEN TOP PIPE
— OCS	— OUTLET CONTROL STRUCTURE
— PSI	— POUNDS PER SQUARE INCH
— PVC	— POLYVINYL CHLORIDE
— SSB	— SIDE SET BACK
— RCP	— REAR SET BACK
— RSB	— REINFORCED CONCRETE PIPE
— SSE	— SANITARY SEWER EASEMENT
— SSMH	— SANITARY SEWER MANHOLE
— MH	— STORM MANHOLE

SCALE: 1" = 40' FEET

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**FINAL PLAT
GARDEN PARK**

LOCATED IN:
LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION,
FORSYTH COUNTY, GEORGIA

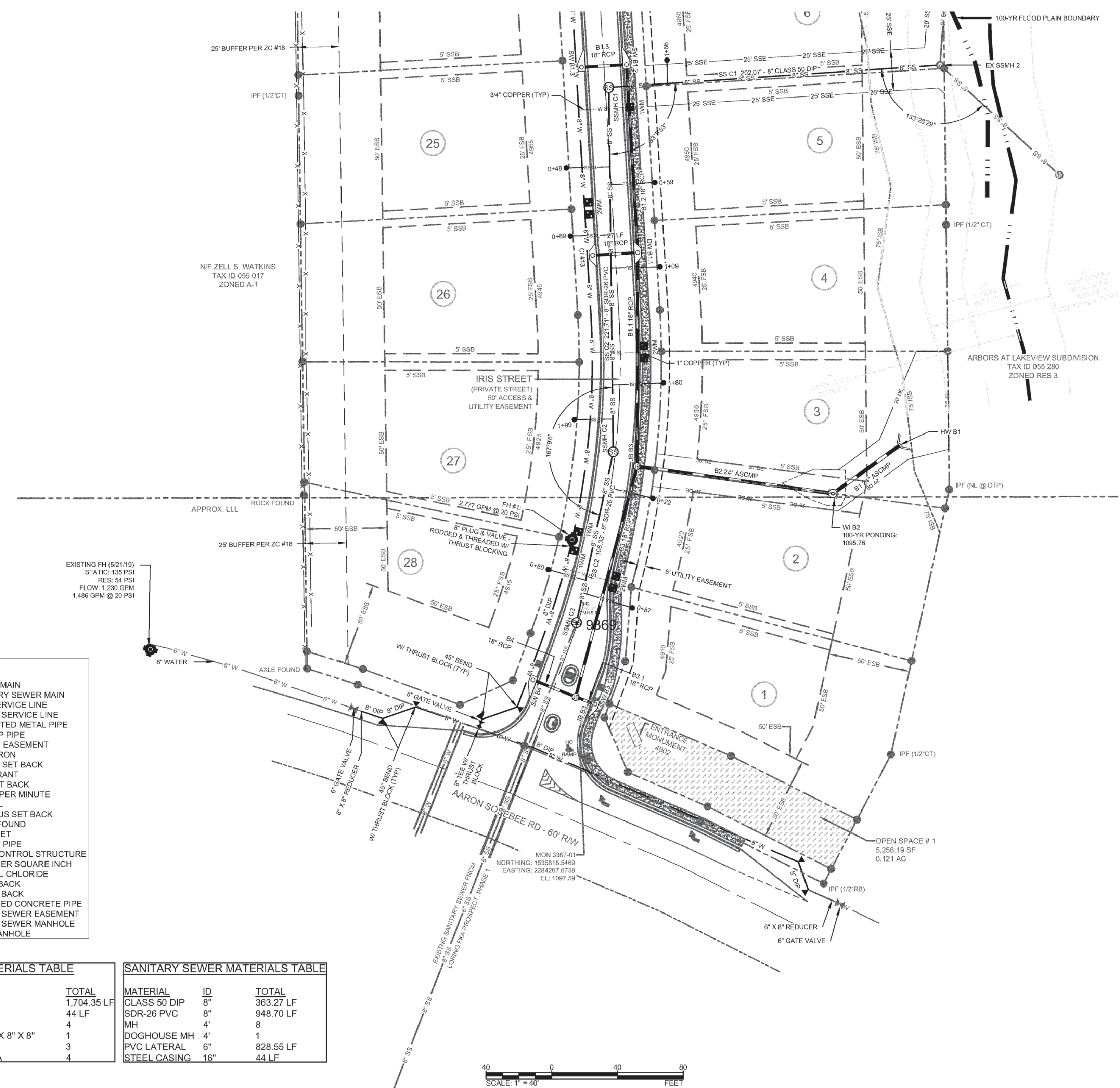
PREPARED FOR:
ADE 711, LLC



SURVEY DATE: NOV 29, 2017
PLAT DATE: MAR 09, 2020
PLAT SCALE: 1" = 40'

**JOB NO: 18002-
GARDEN PARK**
SHEET 9 OF 13 SHEETS

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LEGEND

- 8" W 8" WATER MAIN
- 8" SS 8" SANITARY SEWER MAIN
- W SL WATER SERVICE LINE
- SS SL SANITARY SERVICE LINE
- CMP CORRUGATED METAL PIPE
- CT CRIMP TOP PIPE
- DE DRAINAGE EASEMENT
- DIP DUCTILE IRON
- ESB EXTERIOR SET BACK
- FH FIRE HYDRANT
- FSB FRONT SET BACK
- GPM GALLONS PER MINUTE
- HW HEADWALL
- ISB IMPERVIOUS SET BACK
- IPF IRON PIN FOUND
- LF LINEAR FEET
- OT OPEN TOP PIPE
- OCS OUTLET CONTROL STRUCTURE
- PSI POUNDS PER SQUARE INCH
- PVC POLYVINYL CHLORIDE
- SSB SIDE SET BACK
- RCP REAR SET BACK
- RSB REINFORCED CONCRETE PIPE
- SSE SANITARY SEWER EASEMENT
- SSMH SANITARY SEWER MANHOLE
- MH STORM MANHOLE

WATER SYSTEM MATERIALS TABLE

MATERIAL	ID	TOTAL
DIP	8"	1,704.35 LF
STEEL CASING	16"	44 LF
45° BEND	8"	4
TEE	8" X 8" X 8"	1
GATE VALVE	8"	3
FIRE HYDRANT	N/A	4

SANITARY SEWER MATERIALS TABLE

MATERIAL	ID	TOTAL
CLASS 50 DIP	8"	363.27 LF
SDR-26 PVC	8"	948.70 LF
MH	4'	8
DOGHOUSE MH	4'	1
PVC LATERAL	6"	828.55 LF
STEEL CASING	16"	44 LF



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**FINAL PLAT - AS-BUILT UTILITIES
GARDEN PARK**

LOCATED IN:
LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION,
FORSYTH COUNTY, GEORGIA

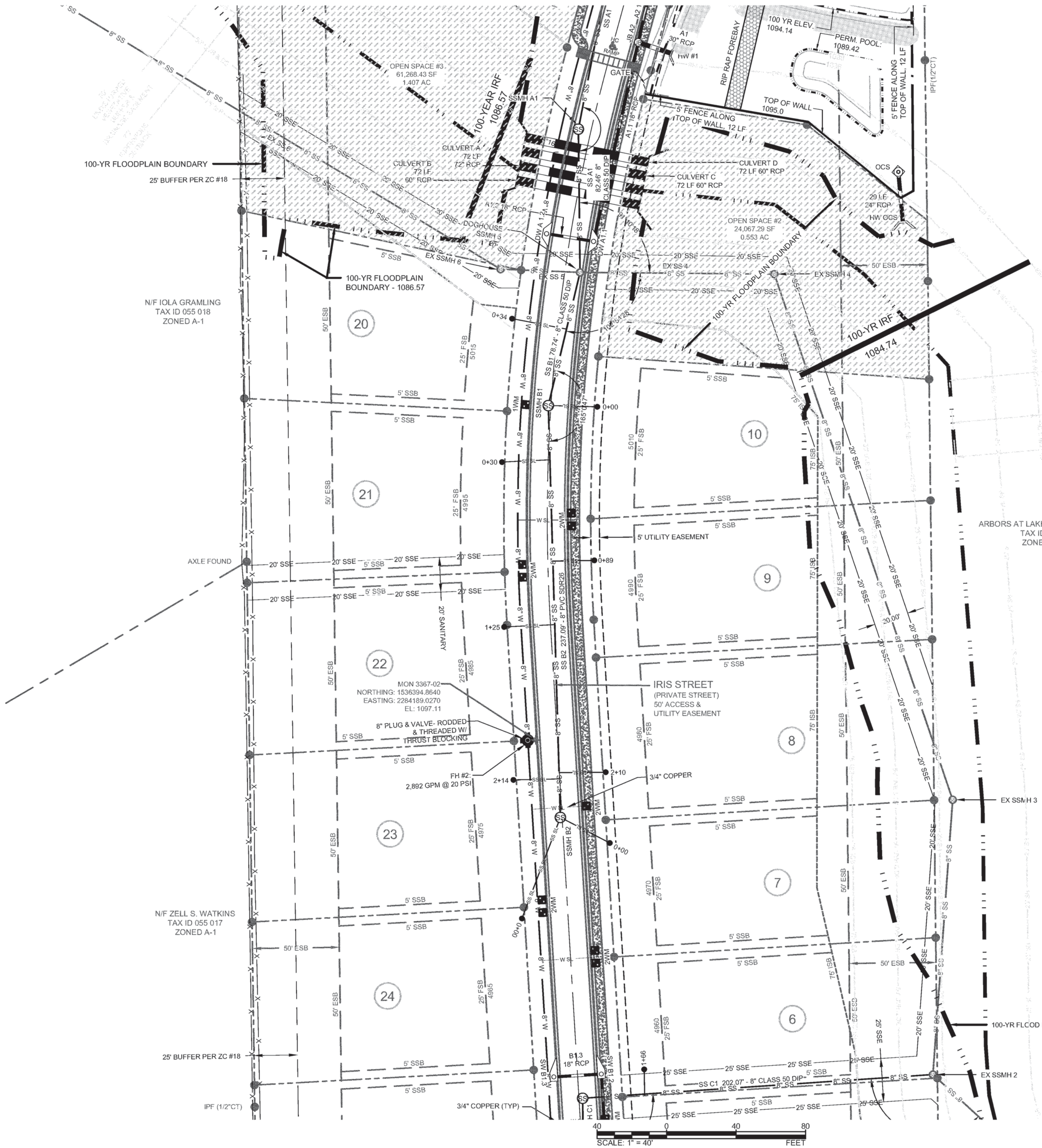
PREPARED FOR:
ADE 711, LLC



SURVEY DATE: NOV 29, 2017
PLAT DATE: MAR 09, 2020
PLAT SCALE: 1" = 40'

**JOB NO: 18002-
GARDEN PARK**
SHEET 10 OF 13 SHEETS

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LEGEND

— 8" W	— 8" WATER MAIN
— 8" SS	— 8" SANITARY SEWER MAIN
— WSL	— WATER SERVICE LINE
— SS SL	— SANITARY SERVICE LINE
— CMP	— CORRUGATED METAL PIPE
— CT	— CRIMP TOP PIPE
— DE	— DRAINAGE EASEMENT
— DIP	— DUCTILE IRON
— ESB	— EXTERIOR SET BACK
— FH	— FIRE HYDRANT
— FSB	— FRONT SET BACK
— GPM	— GALLONS PER MINUTE
— HW	— HEADWALL
— ISB	— IMPERVIOUS SET BACK
— IPF	— IRON PIN FOUND
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— SSB	— SIDE SET BACK
— RCP	— REAR SET BACK
— RSB	— REINFORCED CONCRETE PIPE
— SSE	— SANITARY SEWER EASEMENT
— SSMH	— SANITARY SEWER MANHOLE
— MH	— STORM MANHOLE

**FINAL PLAT - AS-BUILT UTILITIES
GARDEN PARK**

LOCATED IN:
LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION,
FORSYTH COUNTY, GEORGIA

PREPARED FOR:
ADE 711, LLC



SURVEY DATE: **NOV 29, 2017**
 PLAT DATE: **MAR 09, 2020**
 PLAT SCALE: **1" = 40'**

JOB NO: 18002-GARDEN PARK
 SHEET 11 OF 13 SHEETS

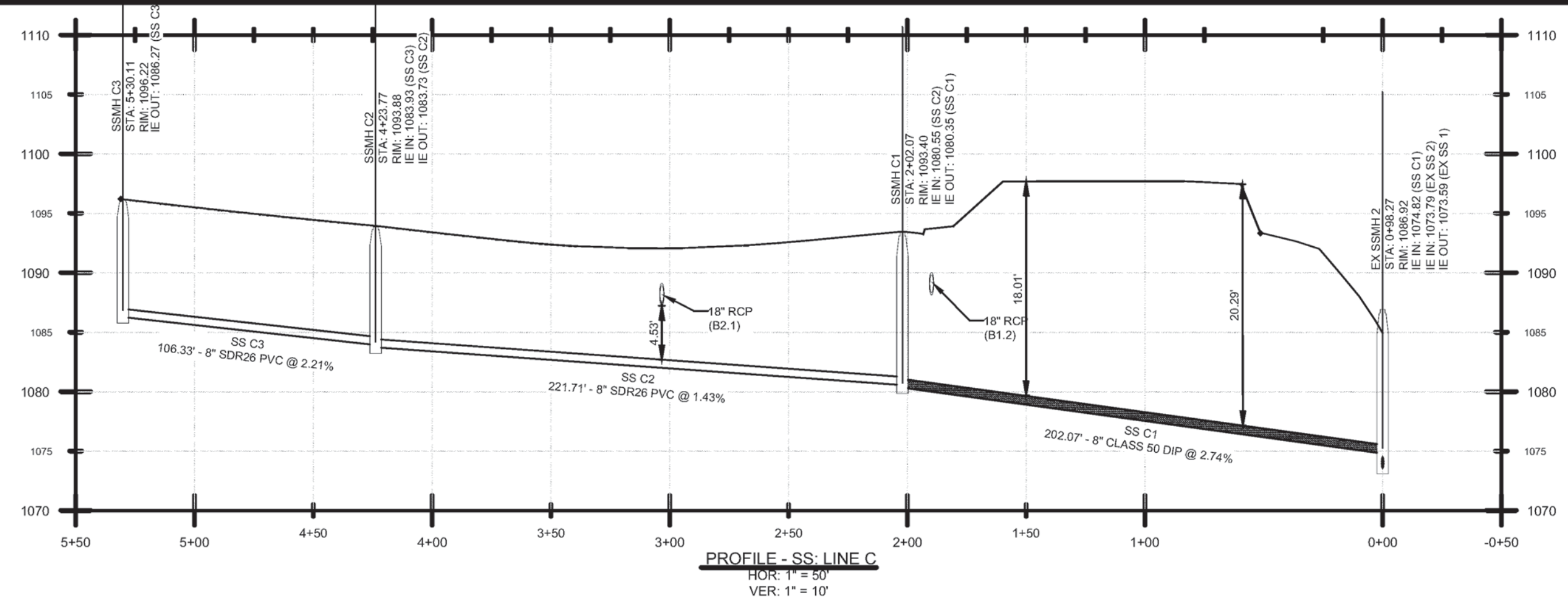
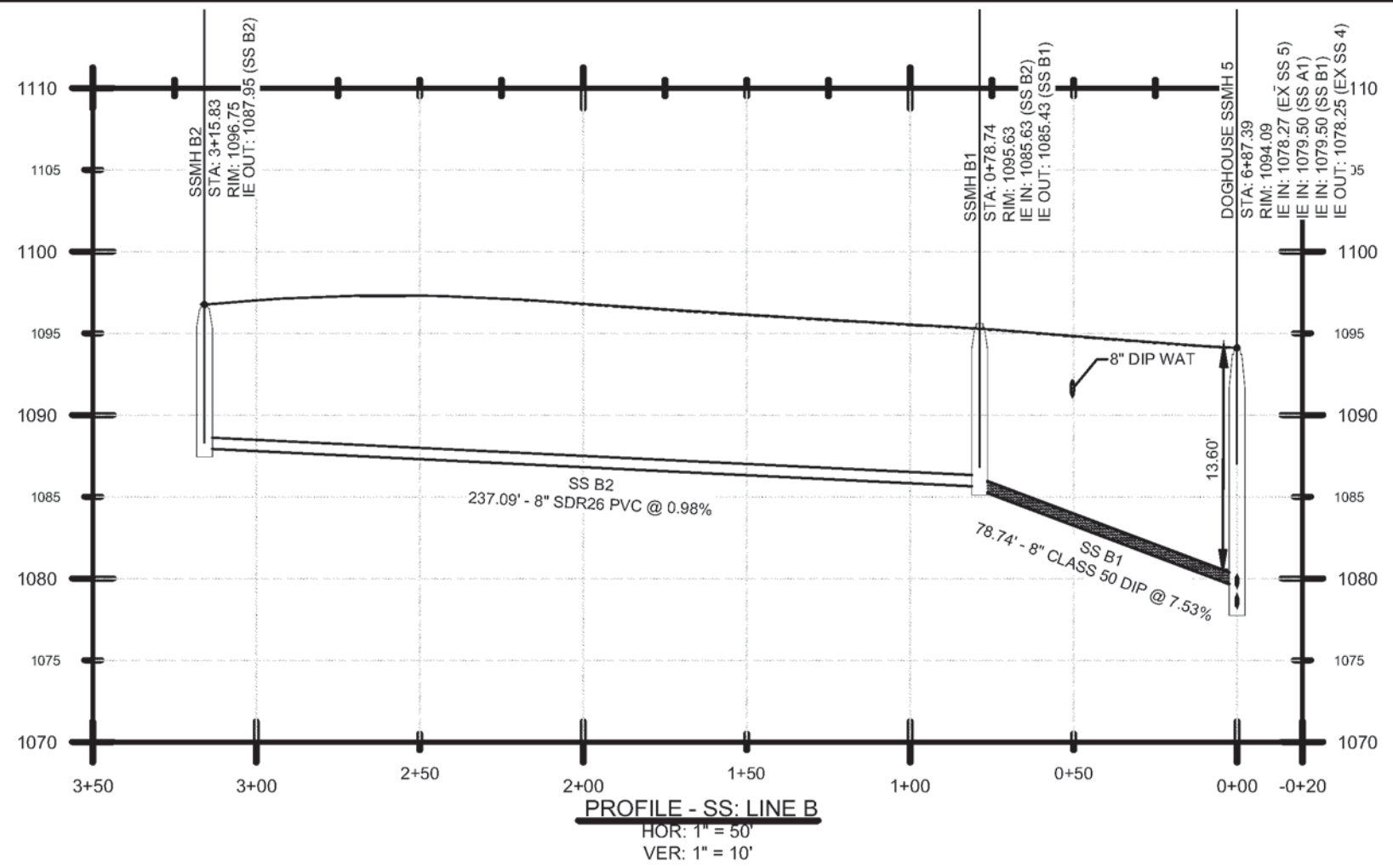
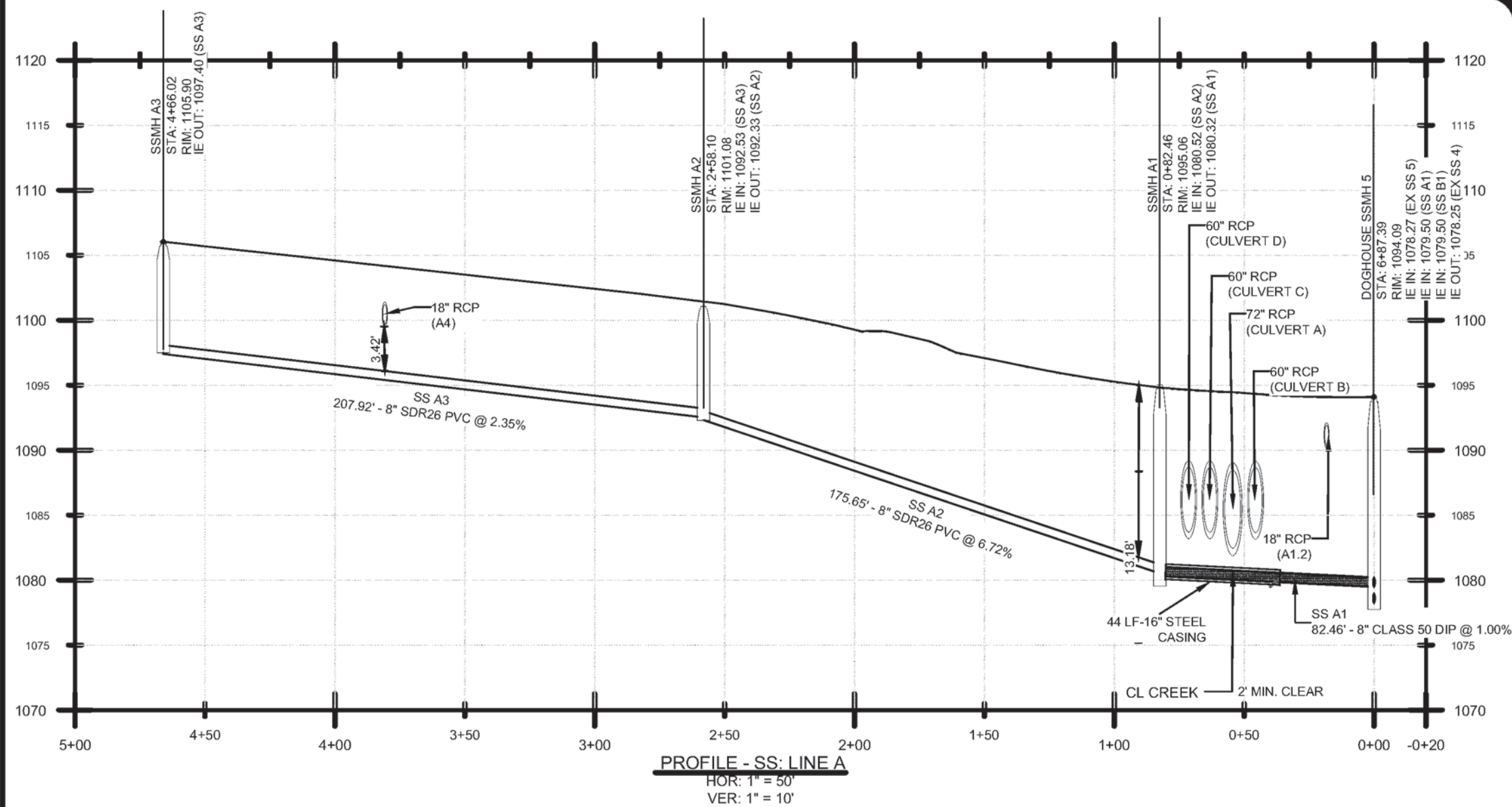
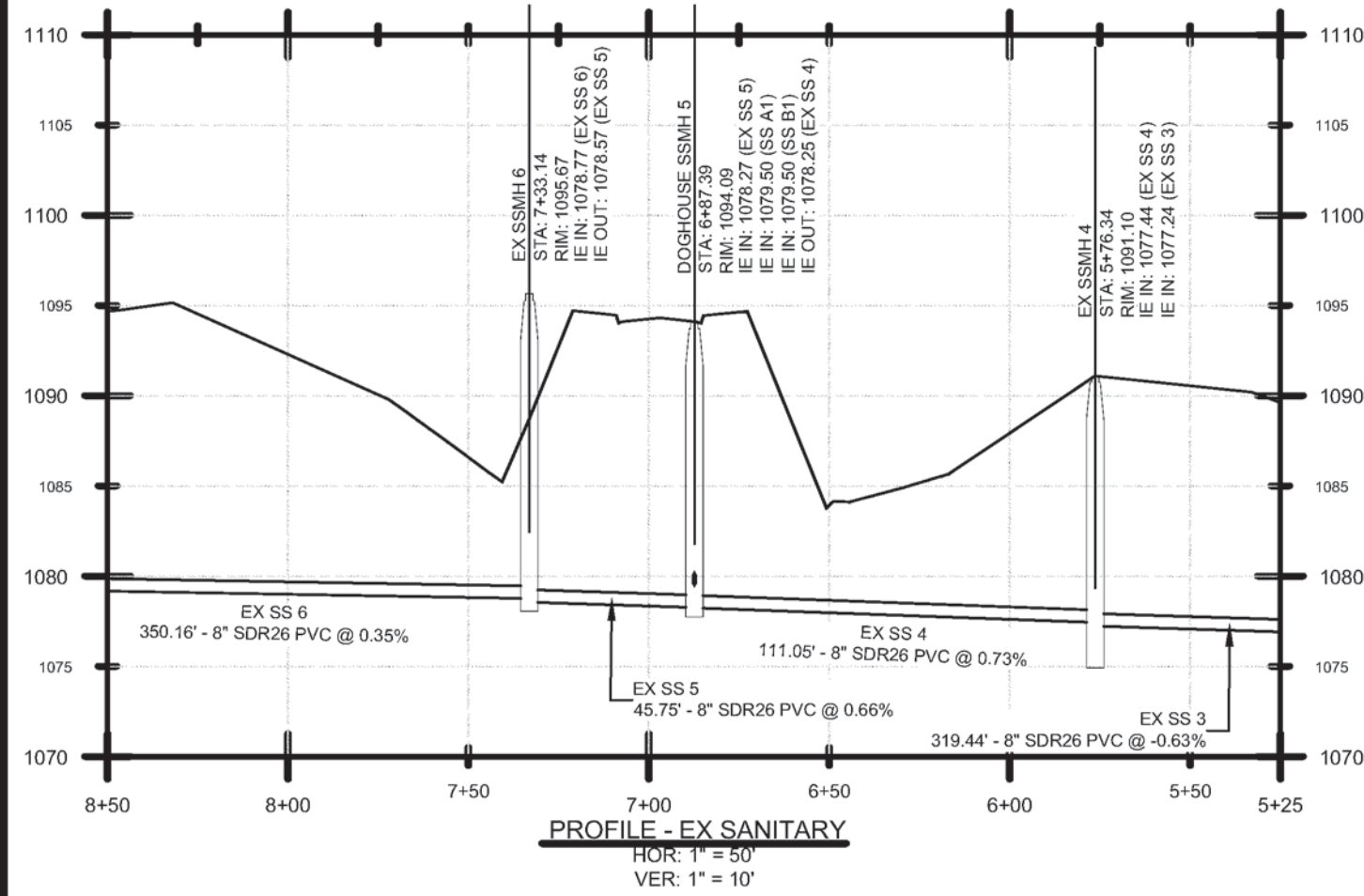
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FINAL PLAT - SANITARY SEWER PROFILES

GARDEN PARK

LOCATED IN:
 LAND LOTS 1092 & 1141, 3RD DISTRICT, 1ST SECTION,
 FORSYTH COUNTY, GEORGIA

PREPARED FOR:
ADE 711, LLC



SURVEY DATE: NOV 29, 2017
 PLAT DATE: MAR 09, 2020
 PLAT SCALE: 1" = 50' HOR
 1" = 10' VER

JOB NO: 18002-GARDEN PARK
 SHEET 13 OF 13 SHEETS