

Type: PLAT
Recorded: 11/12/2021 12:59:00 PM
Fee Amt: \$70.00 Page 1 of 7
Douglas County Georgia
ANNETTA D STEMBRIDGE Clerk Superior
Participant ID: 0011485967
BK 41 PG 322 - 328

GLEN AT KENSINGTON

(aka) KENSINGTON PARK PHASE 2A-1

LOCATED IN LAND LOTS 757, 758 & 810,
18TH DISTRICT, 2ND SECTION
CITY OF DOUGLASVILLE, DOUGLAS COUNTY, GEORGIA

THIS BLOCK RESERVED FOR THE CLERK OF SUPERIOR COURT

SURVEYOR'S CERTIFICATION (CITY OF DOUGLASVILLE)

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN

11/04/2021
DATE

JAMES A. CANNINGTON GEORGIA R.L.S. #0876

OWNER'S CERTIFICATION

THE UNDERSIGNED CERTIFIES THAT HE OR SHE IS THE OWNER OF THE LAND SHOWN ON THIS PLAT AND THAT THE PLAT AND THE PUBLIC IMPROVEMENTS CONTAINED THEREIN OR ASSOCIATED THEREWITH MEET ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DOUGLASVILLE DEVELOPMENT CODE; THE OWNER FURTHER ACKNOWLEDGES THIS PLAT AND ALLOTMENT TO BE HIS FREE ACT AND DEED, AND DEDICATES TO THE PUBLIC FOREVER ALL AREAS SHOWN OR INDICATED ON THIS PLAT AS STREETS, EASEMENTS OR OTHER PUBLIC USE AREAS, AND ALL WATER SYSTEM AND OTHER PUBLIC IMPROVEMENTS AS DEPICTED ON THE AS-BUILT SURVEYS FOR THIS SUBDIVISION, APPROVED ON (DATE)

11/4/2021
DATE

OWNER

CERTIFICATE OF FINAL PLAT APPROVAL

ALL REQUIREMENTS OF THE DOUGLASVILLE DEVELOPMENT CODE HAVING BEEN REPRESENTED AS BEING FULFILLED BY THIS PLAT AND THE RELATED AS-BUILT SURVEYS APPROVED ON (DATE), THIS PLAT IS HEREBY APPROVED FOR RECORDATION BY THE CLERK OF SUPERIOR COURT; THIS APPROVAL FURTHER RECOGNIZES THE OWNER'S OFFER OF DEDICATION OF ALL AREAS AND PUBLIC IMPROVEMENTS SHOWN THEREON AND ON SAID AS-BUILT SURVEYS ON BEHALF OF THE PUBLIC, SUBJECT TO MAINTENANCE AND GUARANTEE BY THE OWNER FOR TWO YEARS FROM THE DATE OF THIS APPROVAL.

9 Nov 2021
DATE

Mayor of Douglasville Georgia



FEMA FIRM MAP
(NOT TO SCALE)

ACCORDING TO THE FIRM OF DOUGLAS COUNTY, PANEL NUMBER 13057C0090, EFFECTIVE DATE MARCH 4, 2013, THE SUBJECT PROPERTY LIES WITHIN F.E.M.A. ZONE "X" (OTHER AREAS), DEFINED THEREON AS FOLLOWS:

ZONE "X" (OTHER AREAS); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN



LOCATION MAP
(NOT TO SCALE)

PARCEL SUMMARY (SUBJECT PROPERTY)

OWNER: DC KENSINGTON, LLC 270 NORTH JEFF DAVIS DRIVE, FAYETTEVILLE, GA 30214 RICHARD PERRY (770) 461-0478	ZONING DCD CASE NUMBER: CHDANCE#00-04-03 SETBACK: FRONT 25' SIDE 5' REAR 30'
REFERENCES: DB 3747 PG 647 & DB 3747 PG 651 A PORTION OF 0758182002 & A PORTION OF 0101820055	MIN LOT WIDTH: 75' (5' IN CURB DE-SAC) MIN ROAD FRONTAGE: 110' (4' IN CURB DE-SAC) MIN LOT AREA: 19,500 SQ FT
PARCEL ID: A PORTION OF 0758182002 & A PORTION OF 0101820055	
AREA LOTS: 89 23,322 AC. 1,015,897 SQ FT	
COMMON AREA: 9,047 +/- AC. 420,228 +/- SQ FT	
STREETS: 5,712 AC. 249,817 SQ FT	
TOTAL: 38,881 AC. 1,884,942 SQ FT	

DESIGN ENGINEER

LECRAW ENGINEERING, INC.
3475 CORPORATE WAY, SUITE A
DULUTH, GEORGIA 30096
JEFF S. WILKERSON P.E.
(878) 546-1100
JEFF.WILKERSON@LECRAWENR.COM

OWNER / DEVELOPER / CLIENT

DC KENSINGTON, LLC
270 NORTH JEFF DAVIS DRIVE
FAYETTEVILLE, GA 30214
RICHARD PERRY
(770) 461-0478

REFERENCES

1. GEORGIA STATE HIGHWAY DEPARTMENT ROADWAY PLANS - PROJECT NO. 1-20-1(1)35 DATED JUNE 18, 1965 AND LAST REVISED JUNE 28, 1997
2. FIELD RECONNAISSANCE FOR WETLANDS, STREAMS, AND STREAM BUFFERS REPORT BY NELSON ENVIRONMENTAL, INC. PREPARED OCTOBER 10, 2013

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (E) OF O.C.G.A. SECTION 15-8-87, THIS PLAT HAS BEEN PREPARED BY A LICENSED SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL, JURISDICTIONAL PERMITS INCLUDING AS FURNISHED BY APPROVAL CERTIFICATE, SIGNATURE, STAMP, OR STATEMENT; HOWEVER, SUCH APPROVAL OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE LOCAL AGENCIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO REQUIRED USE OF ANY VARIATIONS. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLES WITH THE KENNAM TECHNIQUE STANDARD FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-8-87.



James A. Cannington
Professional Seal No. 2878
Date: 11/04/2021

JAMES A. CANNINGTON GEORGIA REGISTERED LAND SURVEYOR NO. 2878 DATE AS SURVEYOR FOR LECRAW ENGINEERING, INC.

* THIS SURVEY WAS EXAMINED AND RELEASED BY THE SURVEYOR FROM THE OFFICE OF THE SURVEYOR TO BE RESPONSIBLE FOR ALL PROPERTY LINE AND AS-BUILT STRUCTURE LOCATIONS AND ELEVATIONS PURSUANT TO THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA.



KEYMAP
(NOT TO SCALE)



11/4/2021
ENGINEERING PERFORMED BY:
LECRAW ENGINEERING, INC.
3475 CORPORATE WAY, SUITE A
DULUTH, GA 30096

THE ENGINEER IS RESPONSIBLE FOR ALL HYDROLOGY CALCULATIONS, PONDING ELEVATIONS AND MINIMUM FLOOR ELEVATIONS.

TEMPORARY BENCHMARKS

BENCHMARK	DESCRIPTION	ELEVATION
BMRK #1	PK NAIL IN CURB	1065.33
BMRK #2	PK NAIL IN CURB	1060.19
BMRK #3	PK NAIL IN CURB	1062.08
BMRK #4	PK NAIL IN CURB	1048.13
BMRK #5	PK NAIL IN CURB	1052.14
BMRK #6	PK NAIL IN CURB	1040.06
BMRK #7	PK NAIL IN CURB	1042.57
BMRK #8	PK NAIL IN CURB	1029.96
BMRK #9	PK NAIL IN CURB	1015.24
BMRK #10	PK NAIL IN CURB	1062.03
BMRK #11	PK NAIL IN CURB	984.87

SHEET 1 OF 7
DATE: 09/08/2021
DRAWN BY: DTW
CHECKED BY: JAC
PROJECT NO.: 103114

NO. 1	DATE	BY	CHKD BY
1	09/08/2021	DTW	JAC
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FINAL SUBDIVISION PLAT FOR
GLEN AT KENSINGTON
(aka) KENSINGTON PARK PHASE 2A-1
LOCATED IN LAND LOTS 757, 758 & 810
OF THE 18TH DISTRICT, 2ND SECTION
CITY OF DOUGLASVILLE, DOUGLAS COUNTY, GEORGIA

LECRAW ENGINEERING, INC.
3475 CORPORATE WAY, SUITE A
DULUTH, GA 30096
TEL: 878-546-1100
WWW.LECRAWENGINEERING.COM (LEF0018)



THIS PLOT IS RESERVED FOR THE CLERK OF SUPERIOR COURT.

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SURVEYING CODE OF GEORGIA, SECTION 15-4-42, THIS PLAN HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR THE RECORD AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON WITH APPROVAL OR AFFIRMATION. THIS PLAN SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENT AGENCIES BY ANY PERSONS OR USER OF THIS PLAN AS TO THE CORRECT USE OF ANY PART OF THE PLAN. IN ADDITION, THE UNDESIGNED LAND SURVEYING CODES THAT THIS PLAN COMPLIES WITH THE MINIMUM TECHNICAL REQUIREMENTS FOR PROPERTY SURVEYS OF GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN CODES OF ORDINANCES.

JAMES A. CAMMINTON
1/10/2021
GEORGIA PROFESSIONAL LAND SURVEYOR NO. 2678

THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS FOR FINAL APPROVAL.



AS SURVEYOR FOR LECRAW ENGINEERING, INC.

Table with columns: LOT, BEARING, DISTANCE, AREA, PERCENT. Lists lot details for lots 1 through 167.

Table with columns: CURVE, ARC LENGTH, RADII, CHORD BEARING, CHORD LENGTH. Lists curve data for curves C1 through C98.

Table with columns: LINE, BEARING, DISTANCE. Lists line data for lines L1 through L5.

GENERAL NOTES

- 1. THE FIELD SURVEY WAS PERFORMED ON APRIL 26, 2021...
2. HORIZONTAL AND VERTICAL CONTROL WAS ESTABLISHED...
3. THE BEARING BENCH MARK NORTH WAS...
4. THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED...
5. THIS MAP OR PLAN HAS BEEN CALCULATED FOR CLOSURE...
6. BARRIERS OR E.M.A. PLANTS...
7. PROPERTY CORNER MONUMENTS...
8. ALL UNDERGROUND UTILITIES...
9. THE SITE IS 16.81 ACRES...
10. DENSITY IS 10.72 PER ACRE...
11. NO DRAIN OR BURIED PITS...
12. SIDEWALKS SHOWN...
13. SUBDIVISION IS CONNECTED TO PUBLIC SANITARY SEWER...
14. ZONING INFORMATION...
15. TOPOGRAPHY AND ELEVATIONS...
16. THE WETLANDS AND STREAM BANKS...

SYMBOL LEGEND

- Corner Monument Set (See Note 7)
Iron Pin Found (Type Noted)
Intersection Point
Single Wing Catch Basin
Double Wing Catch Basin
Flared End Section
Drop Inlet
Headwall
Curb Inlet
Storm Manhole
Storm Junction Box
Pedestal Inlet
Outlet Control Structure
Fire Hydrant
Water Valve
Water Meter
Sanitary Sewer Manhole
Sanitary Sewer Lateral
Building Setback Line
Bearing Found
Open Top of Benchmark
Point of Beginning
Right of Way
End Not Located
Handicapped Space
Painted Traffic Arrow
Street Sign
Reinforced Concrete Pipe
Ductile Iron Pipe
Polyvinyl Chloride Pipe
Minimum Floor Elevation
Outlet Control Structure
Non-Permanently Installed Easement
Sanitary Sewer Easement
Access Easement
Street Address
Lot Number
Bearing Found
Open Top of Benchmark
Point of Beginning
Right of Way
End Not Located
Handicapped Space
Painted Traffic Arrow
Street Sign
Reinforced Concrete Pipe
Ductile Iron Pipe
Polyvinyl Chloride Pipe
Minimum Floor Elevation
Outlet Control Structure
Fire Hydrant
Water Valve
Water Meter
Sanitary Sewer Manhole
Sanitary Sewer Lateral
Building Setback Line

LINE LEGEND

- Site Boundary Line
Adjacent Boundary Line
Interior Boundary Line
Right of Way Line
Setback Line
Easement Line
Approx. Flood Limits
Road Centerline
Curb & Gutter
Fence
Storm Sewer
Water Line
Water Line
Sanitary Sewer
Storm Buffer
Paint Stripes

HATCH LEGEND

- Future Sidewalk
Wetlands
Easement

Table with columns: DATE, DTW, JAC, etc. Contains project metadata.

FINAL SUBDIVISION PLAN FOR
GLEN AT KENSINGTON
KENSINGTON PARK PHASE 2A-1
LOCATED IN LAND LOTS 757, 758 & 310
OF THE 18TH DISTRICT, 2ND SECTION
CITY OF DOUGLASVILLE, DOUGLAS COUNTY, GEORGIA

LECRAW ENGINEERING, INC.
1405 W. STATE STREET, SUITE 200
DOUGLASVILLE, GA 30135
WWW.LECRAWENGINEERING.COM



THIS BLOCK RESERVED FOR THE CLERK OF SUPERIOR COURT

SURVEYOR'S CERTIFICATION
 AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAN HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES OR AUTHORIZED STAMPS, IN STATEMENT HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL AGENCIES BY ANY PURCHASER OR USER OF THIS PLAN AS EVIDENCED HEREON. IF ANY PART OF THIS PLAN IS NOT IN ACCORDANCE WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYING IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYING AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67:

JAMES A. CANNINGTON
 11/04/2021
 STATE OF GEORGIA REGISTERED LAND SURVEYOR NO. 2676

THIS SURVEY WAS SURVEYED AND RELEASED BY THE SURVEYOR PRIOR TO FINAL APPROVAL.

GEORGIA
 No. 2676
 LAND SURVEYOR
 JAMES A. CANNINGTON

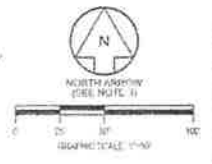
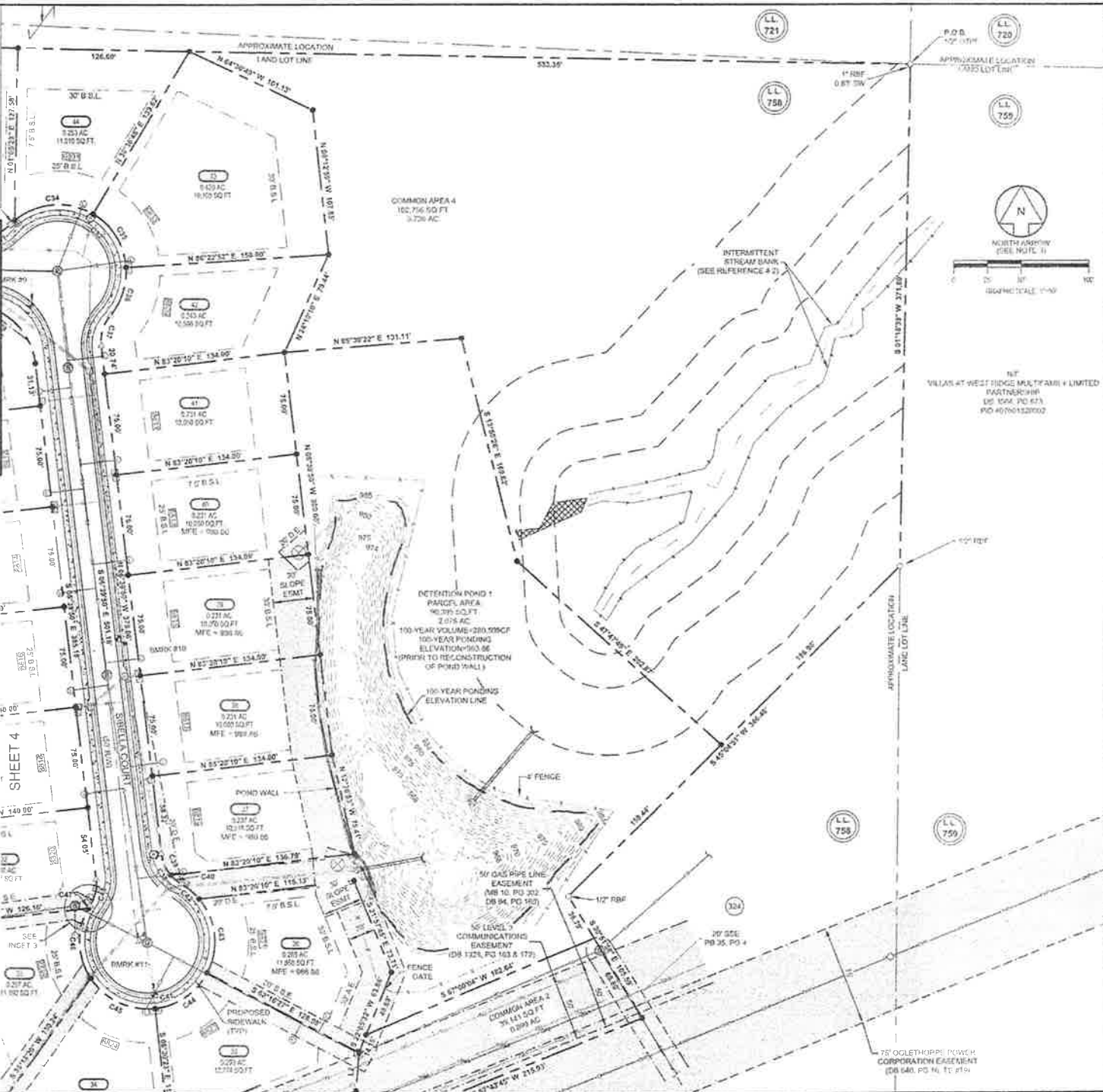
AS SURVEYOR FOR
 LECRAW ENGINEERING, INC.

THE SURVEYOR IS RESPONSIBLE FOR ALL PROPERTY LINE AND SURFACE ELEVATION LOCATIONS AND ELEVATION POINTS SHOWN TO THE MINIMUM STANDARDS FOR PROPERTY SURVEYING IN GEORGIA.

GEORGIA
 No. 03436
 PROFESSIONAL ENGINEER
 J. WILKINSON

ENGINEERING FIRM OWNED BY
 LECRAW ENGINEERING, INC.
 3145 CORPORATE WAY, SUITE A
 DULUTH, GA 30098

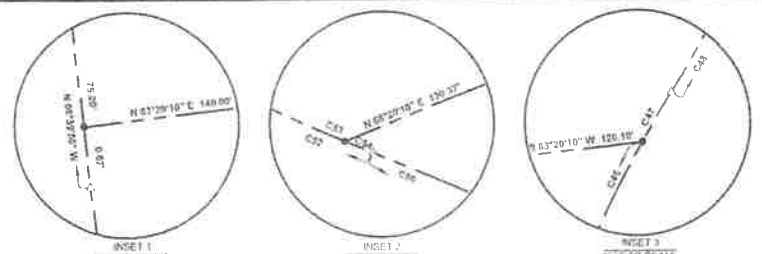
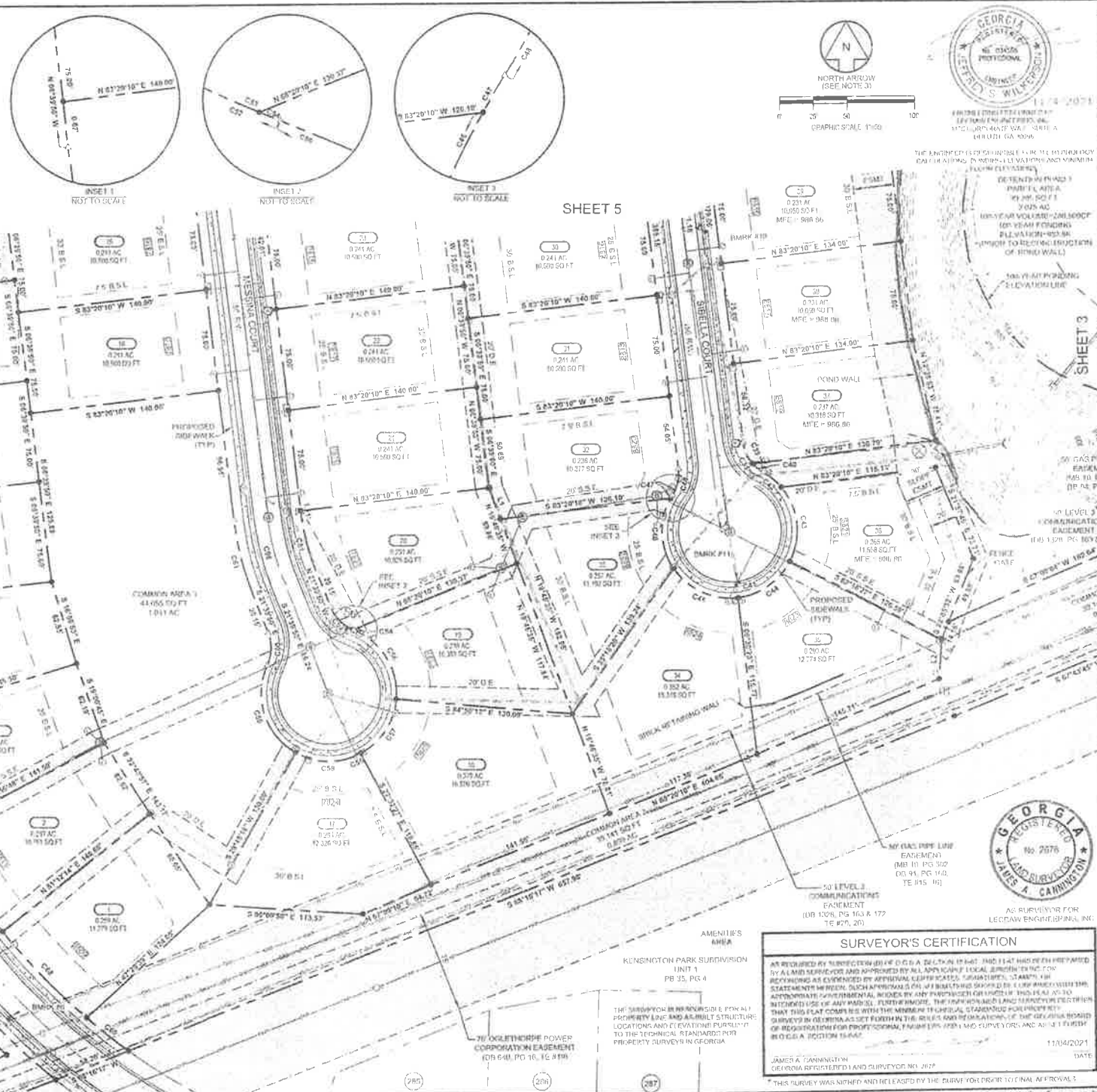
THE ENGINEER IS RESPONSIBLE FOR ALL HYDROLOGY CALCULATIONS, FLOODING ELEVATIONS AND MINIMUM FLOOR ELEVATIONS.



FINAL SUBDIVISION PLAT FOR:
GLEN AT KENSINGTON
 (aka) **KENSINGTON PARK PHASE 2A-1**
 LOCATED IN LAND LOTS 757, 758 & 810
 OF THE 19TH DISTRICT, 2ND SECTION
 CITY OF DOUGLASVILLE, DOUGLAS COUNTY, GEORGIA

LECRAW ENGINEERING, INC.
 3145 CORPORATE WAY, SUITE A
 DULUTH, GA 30098
 PHONE: 404.548.8100 FAX: 404.548.8101
 WWW.LECRAWENGINEERING.COM LECRAW100





SHEET 4 OF 7
DATE: 09/03/2021
DRAWN BY: DTW
CHECKED BY: JAC
PROJECT NO: 1031114

OWNER: KENSINGTON PARK PHASE 2A-1
DEVELOPER: KENSINGTON PARK PHASE 2A-1
DESIGNER: LECRAW ENGINEERING
DATE: 09/03/2021

FINAL SUBDIVISION PLAT FOR:
GLEN AT KENSINGTON
 (aka) **KENSINGTON PARK PHASE 2A-1**
 LOCATED IN LAND LOTS 757, 758 & 810
 OF THE 18TH DISTRICT, 2ND SECTION
 CITY OF DOUGLASVILLE, DOUGLAS COUNTY, GEORGIA

LEADRAW ENGINEERING, INC.
 5475 CORPORATE WAY, SUITE 100
 DULUTH, GA 30096
 PHONE: 770.445.9633
 FAX: 770.445.9633
 WWW.LECRAWENGINEERING.COM



SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION 16-1-1 OF O.C.G.A. SECTION 16-1-1 AND THAT HAS BEEN PREPARED BY A LICENSED SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDATION AS EVIDENCED BY APPLICABLE OFFICIAL RECORDS, I HEREBY CERTIFY THAT THE STATEMENTS HEREIN, SUCH AS PERMITS, EASEMENTS, ENCUMBRANCES, ETC., ARE TRUE AND CORRECT AND THAT I HAVE CONDUCTED A REASONABLE INVESTIGATION OF THE MATTERS REFERRED TO AND THAT I AM AWARE OF ALL APPLICABLE LAWS AND REGULATIONS AND THAT I AM NOT PROVIDING ANY SERVICES THAT I AM NOT LICENSED TO PROVIDE. I HEREBY CERTIFY THAT THIS PLAT COMPLETES WITH THE MEMBERSHIP TO THE LOCAL STAKEHOLDER FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL SURVEYORS AND SURVEYORS AND ALL APPLICABLE O.C.G.A. SECTION 16-1-1.

JAMES A. CAMMINTON
 GEORGIA REGISTERED SURVEYOR NO. 2676

11/24/2021
 DATE

THIS SURVEY WAS MADE AND RELEASED BY THE SURVEYOR PRIOR TO FINAL APPROVAL.

THIS BLOCK RESERVED FOR THE CLERK OF SUPERIOR COURT

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 46-02, THIS PLAN HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS ADVISED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS OR STATEMENTS HEREON. SUCH APPROVALS OR CERTIFICATIONS SHOULD BE CONFORMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAN AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAN COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 46-02-01.

JAMES A. CANNINGTON
11/04/2021
DATE:
GEORGIA REGISTERED LAND SURVEYOR #12078

THIS SURVEY WAS SIGNED AND RELEASED BY THE SURVEYOR PRIOR TO FINAL APPROVAL.

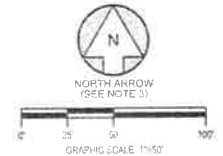


AS SURVEYOR FOR LECRAW ENGINEERING, INC. THE SURVEYOR IS RESPONSIBLE FOR ALL PROPERTY LINE AND ADJACENT STRUCTURE LOCATIONS AND ELEVATIONS FURNISHED TO THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA.

SHEET 6



SHEET 4



THE ENGINEER IS RESPONSIBLE FOR ALL HYDROLOGY CALCULATIONS, FLOOD ELEVATIONS AND MINIMUM FLOOD ELEVATIONS.

SHEET 5 OF 7	
SCALE	1"=50'
DATE	09/08/2021
OWNER	DTW
CLIENT #	JAC
PROJECT #	103114

1	OWNER	DTW
2	DESIGNER	JAC
3	REGISTERED SURVEYOR	JAC
4	REGISTERED PROFESSIONAL ENGINEER	JAC
5	REGISTERED LAND SURVEYOR	JAC
6	REGISTERED CIVIL ENGINEER	JAC
7	REGISTERED ELECTRICAL ENGINEER	JAC
8	REGISTERED MECHANICAL ENGINEER	JAC
9	REGISTERED CHEMICAL ENGINEER	JAC
10	REGISTERED INDUSTRIAL ENGINEER	JAC
11	REGISTERED AERONAUTICAL ENGINEER	JAC
12	REGISTERED NUCLEAR ENGINEER	JAC
13	REGISTERED METALLURGICAL ENGINEER	JAC
14	REGISTERED MINING ENGINEER	JAC
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99	REGISTERED CHEMICAL ENGINEER	JAC
100	REGISTERED INDUSTRIAL ENGINEER	JAC

FINAL SUBDIVISION PLAT FOR:
GLEN AT KENSINGTON
(aka) KENSINGTON PARK PHASE 2A-1
LOCATED IN LAND LOTS 757, 768 & 810
OF THE 18TH DISTRICT, 2ND SECTION
CITY OF DOUGLASVILLE, DOUGLAS COUNTY, GEORGIA

LECRAW ENGINEERING, INC.
3175 CORPORATE WAY, SUITE 1
COLLIER, GA 30688
PHONE 770-581-0000 FAX 770-581-0233
WWW.LECRAWENGINEERING.COM | SPO1163

PREPARED IN THE OFFICE OF

ENGINEERING

PREPARED IN THE OFFICE OF



SURVEYOR'S CERTIFICATION

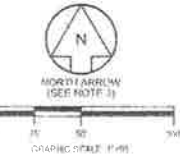
AS PREPARED BY SURVEYOR JOHN P. J. A. SULLIVAN, THIS PLAT HAS BEEN PREPARED BY LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL OF RECORDS, COMPLETION OF THE STATEMENTS HEREIN, AND APPROVAL OF APPLICABLE STATE AND FEDERAL AGENCIES WITH THE APPROPRIATE CONSENTS AND RECORDS. THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROFESSIONAL SURVEYING IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE RULES AND REGULATIONS OF THE

JAMES A. CANNON, JR.
11042222
LAND SURVEYOR
NO. 2078

THIS SURVEY WAS FIELD AND RECALIBRATED BY THE SURVEYOR PRIOR TO FINAL APPROVAL.



AS SURVEYOR FOR
LECRAW ENGINEERING, INC.



SHEET 6 OF 7

DATE	1"=50'
DATE	09/08/2021
DESIGNER	DTW
CHECKER	JAC
PROJECT NO.	103114

PROJECT NAME	GLEN AT KENSINGTON
ADDRESS	757, 798 & 810 KENSINGTON PARK DRIVE, DUBLIN, GA 30128
OWNER	LECRAW ENGINEERING, INC.
DATE	09/08/2021
SCALE	1"=50'

FINAL SUBDIVISION PLAT FOR
GLEN AT KENSINGTON
(aka) KENSINGTON PARK PHASE 2A-1
LOCATED IN LAND LOTS 757, 798 & 810
OF THE 18TH DISTRICT, 2ND SECTION
CITY OF DOUGLASVILLE, DOUGLAS COUNTY, GEORGIA

LECRAW ENGINEERING, INC.
3475 SHOPRITE WAY, SUITE 400
DUBLIN, GA 30128
PHONE: 404.254.3100, FAX: 404.254.1778
WWW.LECRAWENGINEERING.COM, LECRAW@LECRAWENGINEERING.COM





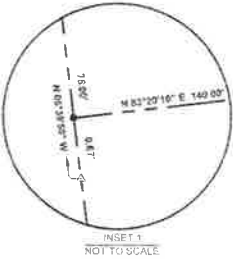
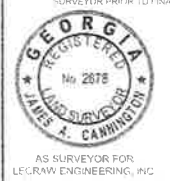
THIS BLOCK RESERVED FOR THE CLERK OF SUPERIOR COURT.

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (D) OF O.G.C.A. SECTION 15-2-42, THIS PLAN HAS BEEN PREPARED BY A LICENSED SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, CERTIFICATIONS, STAMPS OR STATEMENTS HEREON. SUCH APPROVALS AND ASSURANCES SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL AGENCIES BY ANY PURCHASER OR USER OF THIS PLAN TO INTEND USE OF ANY PARCEL PERTAINING. THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAN COMPLIES WITH THE ANNUAL ELECTRICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.G.C.A. SECTION 15-2-47.

JAMES A. CANNINGTON
 11/04/2021
 STATE OF GEORGIA REGISTERED LAND SURVEYOR NO. 2678

THIS SURVEY WAS ORDERED AND RELEASED BY THE SURVEYOR PRIOR TO FINAL APPROVALS.



SHEET 6		SHEET 7 OF 7	
DATE	11-05-20	DATE	09/08/2021
PROJECT	GLEN AT KENSINGTON	PREPARED BY	DTW
PROJECT NO.	2021-001	DESIGNED BY	JAC
PROJECT LOCATION	103114	DATE PLOTTED	11/04/2021
PROJECT OWNER	LECRAW ENGINEERING, INC.	SCALE	1" = 50'

FINAL SUBDIVISION PLAN FOR:
GLEN AT KENSINGTON
 (aka) KENSINGTON PARK PHASE 2A-1
 LOCATED IN LAND LOTS 757, 758 & 910
 OF THE 18TH DISTRICT, 2ND SECTION
 CITY OF DOUGLASVILLE, DOUGLAS COUNTY, GEORGIA

SHEET 4

LECRAW ENGINEERING, INC.
 1005 CORPORATE WAY, SUITE 101
 DALTON, GA 30706
 PHONE: 478.244.3100 FAX: 770.441.8219
 WWW.LECRAWENGINEERING.COM LSR# 160

13' CLETHORPE POWER CORRUPTION EASEMENT (DB 640, PG 16, 1E P19)

APPROXIMATE LOCATION LAND LOT LINE

PREPARED IN THE OFFICE OF