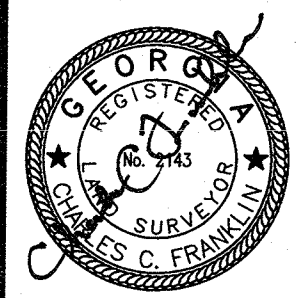


Plat Book 277 Page 454
Filed and Recorded 06/12/2018 03:38:00 PM
2018-0075960
Rebecca Keaton
Clerk of Superior Court
Cobb County, GA
Participant IDs: 3854297347

AS REQUIRED BY SUBSECTION (4) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

Charles C. Franklin
CHARLES C. FRANKLIN, R.L.S. No. 2143

5-09-18
DATE



DRAINAGE NOTES:

- INDIVIDUAL SITE PLANS MUST BE PREPARED TO DEMONSTRATE HOW RUNOFF WILL BE DIRECTED IN ACCORDANCE WITH THE HYDROLOGY STUDY. THE HOMES FIRST FLOOR/GARAGE ELEVATION MUST BE 1' ABOVE THE TOP OF CURB.
- THE MINIMUM FLOOR ELEVATION SHALL BE AT LEAST 3 FEET ABOVE THE LOCAL 100 YR HEADWATER POOL ELEVATION(S), UNLESS POOLING RUNOFF WILL BYPASS THE BUILDING WITH 1.0 FOOT OF FREEBOARD PROTECTION. BUILDER SHALL PROVIDE AN ADEQUATE SWALE BETWEEN/BEHIND THE HOUSES TO ACCOMMODATE ANY OVERFLOWS FROM THE INLET. INDIVIDUAL SITE PLANS MUST BE PREPARED FOR THESE LOTS TO DEMONSTRATE HOW OVERFLOWS FROM INLETS AT THESE LOTS WILL BYPASS THE BUILDINGS AND HOW RUNOFF WILL BE DIRECTED IN ACCORDANCE WITH THE APPROVED HYDROLOGY STUDY. THE HOMES FIRST FLOOR/GARAGE ELEVATION MUST BE 1' ABOVE THE TOP OF CURB.
- SITE PLANS MUST BE PREPARED SUBJECT TO THE REQUIREMENTS OF THE COBB COUNTY CODE 858-68(3). LOWEST FLOOR ELEVATIONS SHALL BE NO LESS THAN THREE (3) FEET ABOVE THE 100-YEAR FLOOD HAZARD AREA. AN ELEVATION CERTIFICATE, PREPARED BY A REGISTERED LAND SURVEYOR, IS REQUIRED PRIOR TO FOOTING INSPECTION.

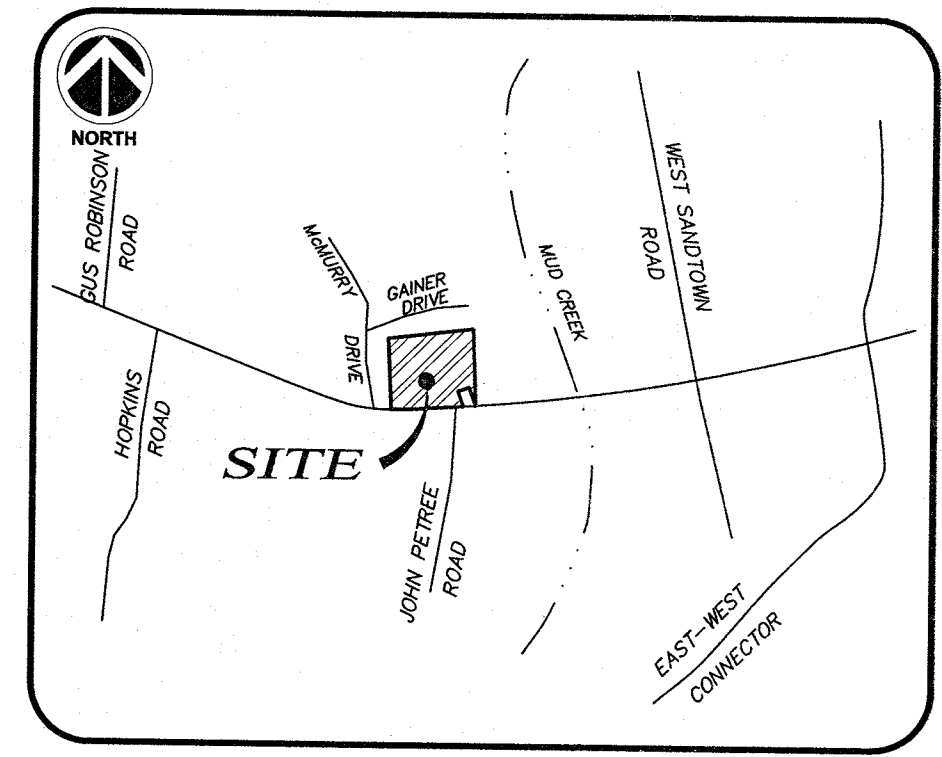
SURVEYOR'S ACKNOWLEDGMENT

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON, AND IS TO THE ACCURACY AND SPECIFICATIONS REQUIRED BY THE COBB COUNTY DEVELOPMENT STANDARDS.

Charles C. Franklin
REGISTERED GA. LAND SURVEYOR

5-09-18
DATE

ALLOWABLE IMPERVIOUS BYPASS:
LOTS 13-16: 2,050 S.F. EACH
NOTE: IMPERVIOUS AREA FROM ALL OTHER LOTS MUST DRAIN TO THE PROPOSED DETENTION POND.
MAXIMUM 7,000 S.F. IMPERVIOUS AREA ALLOWED PER LOT



VICINITY MAP
NOT TO SCALE

RESERVED FOR SUPERIOR COURT CLERK

APPLICANT/DEVELOPER

ADVENTUR LIVING
4763 TOWNSHIP CHASE
MARIETTA, GEORGIA 30066

24 HOUR CONTACT:

BERNIE SMITH
770-652-0044

SITE NOTES:

PROPOSED USE: SINGLE FAMILY RESIDENTIAL
ZONING - R-20 (OSC)
TOTAL AREA - 10.88 ACRES
NET BUILDING AREA - 10.88 ACRES
TOTAL OPEN SPACE PROVIDED - 3.87 ACRES (35.6%)
TOTAL NO. LOTS - 16
RESIDENTIAL DENSITY - 1.47 UNITS PER ACRE
MINIMUM LOT SIZE - AS SHOWN

BUILDING SETBACK REQUIREMENTS:

FRONT - 25'
REAR - 25'
SIDE - 5' WITH MIN. 20' BETWEEN STRUCTURES

SURVEY DATA:

TRAVERSE CLOSURE - 1:320,416
ANGULAR ERROR - 2.7 SEC'S/STA.
ADJUSTMENT - COMPASS RULE
EQUIPMENT - TOPCON 303 TOTAL STATION
PLAT CLOSURE - 1:313,683
ALL MATTERS OF TITLE EXCEPTED.
DATE OF FIELD WORK - JULY 8, 2017

NO STREET PARKING
HAS BEEN APPROVED
FOR THIS DEVELOPMENT

20 FEET BETWEEN BUILDINGS AS DEFINED BY SECTION 134, ARTICLE I OF THE COBB COUNTY CODE IS REQUIRED DUE TO THE EXCLUSION OF GUEST PARKING.

FLOOD INFORMATION

THIS PROPERTY IS NOT LOCATED WITHIN A FEMA 100 YEAR FLOOD ZONE ACCORDING TO COBB COUNTY F.I.R.M. PANEL 0094 H, COMMUNITY NO. 130052, MAP, DATED, MAR 4, 2013.

GENERAL NOTES:

- DISTANCES SHOWN ON THE PLAT ARE GROUND (HORIZONTAL) DISTANCES.
- HORIZONTAL DATUM BASED ON NAD 83
- VERTICAL DATUM BASED ON NAVD 88
- NO CEMETERIES, ARCHEOLOGICAL, OR ARCHITECTURAL LANDMARKS ARE KNOWN TO EXIST ON THIS SITE.
- #4 REBAR TO BE SET ON ALL PROPERTY CORNERS (FUTURE) UNLESS OTHERWISE NOTED.
- ALL STORM WATER INFRASTRUCTURES SHOWN ON THIS PLAT ARE THE SAME AS ARE SHOWN ON THE ASBUILT DRAWINGS SUBMITTED TO COBB COUNTY STORM WATER MANAGEMENT.
- PROJECT IS SUBJECT TO ALL STIPULATIONS OF ZONING CASE Z-51 OF 6-24-16. (PAR NO. 19049700020)
- THERE ARE NO KNOWN COBB COUNTY MONUMENTS WITHIN 500 FT OF THE PROJECT.
- STATE LAW PROHIBITS THE PRIVATE CONSTRUCTION, PLANTING, OR OTHERWISE MAKING IMPROVEMENTS ON THE DEDICATED RIGHT-OF-WAY. THE SOLE RESPONSIBILITY FOR REPAIRING OF ANY DAMAGE OF ANY SUCH IMPROVEMENT SHALL BE PROPERTY OWNERS.
- "THIS PLAT IS SUBJECT TO COVENANTS SET FORTH IN THE SEPARATE DOCUMENT(S) DATED _____ WHICH HEREBY BECOMES A PART OF THIS PLAT," RECORDED IN DEED BOOK _____ PAGE _____ COBB COUNTY DEEDS RECORDS AND SIGNED BY THE OWNER.
- PERPETUAL CARE AND MAINTENANCE AND THE CONVEYANCE OF REAL PROPERTY REFERENCED IN SECTION 205 OF THE COBB COUNTY DEVELOPMENT STANDARDS AND SPECIFICATIONS WILL BE COME EFFECTIVE AT THE COMPLETION OF THE FINAL ACCEPTANCE PROCESS.
- NO PERMANENT STRUCTURES SHALL BE CONSTRUCTED WITHIN TEN (10') FEET OF THE EDGE OF PERMANENT COBB COUNTY WATER OR SANITARY SEWER EASEMENTS ON FRONT OR REAR SETBACKS, OR WITHIN TWO (2') ON SIDE SETBACKS, PER COUNTY CODE 122-123.
- NO PART OF THE MAIL KIOSK IS TO BE SITUATED IN THE RIGHT-OF-WAY.

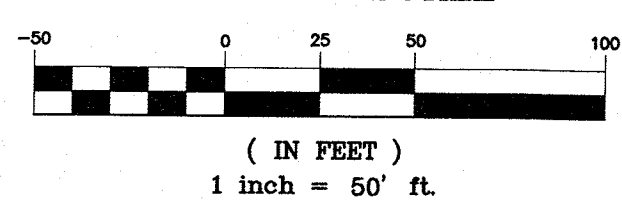
STREET CENTERLINE CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	TANGENT BEARING
C1	14.52'	200.00'	17°16'26"	14.51' N00°26'30"W
C2	123.41'	100.00'	65°14'15"	115.77' N33°42'59"W

STREET LENGTH - 569.27'

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD	BEARING
C1	4987.18'	165.77'	165.76'	S88°00'21"W
C2	4987.18'	235.04'	235.02'	S89°07'00"E
C3	125.00'	8.98'	8.98'	N00°25'16"W
C4	125.00'	20.03'	20.01'	N07°04'13"W
C5	125.00'	54.45'	54.02'	N24°08'18"W
C6	125.00'	22.08'	22.05'	N41°40'39"W
C7	50.00'	43.06'	41.74'	N23°52'06"W
C8	50.00'	44.18'	42.76'	N71°56'19"W
C9	50.00'	41.15'	40.00'	S59°10'07"W
C10	50.00'	53.41'	50.91'	S04°59'22"W
C11	50.00'	78.56'	70.73'	S70°37'30"E
C12	75.00'	54.65'	53.45'	S19°14'20"E

LINE TABLE		
LINE	DISTANCE	DIRECTION
L1	20.00'	N02°29'49"W
L2	24.53'	S87°39'09"W
L3	20.00'	S02°11'51"E
L4	22.11'	S45°20'53"W
L5	22.57'	N57°45'33"W
L6	6.53'	N01°38'16"E
L7	6.17'	S01°38'16"W

GRAPHIC SCALE

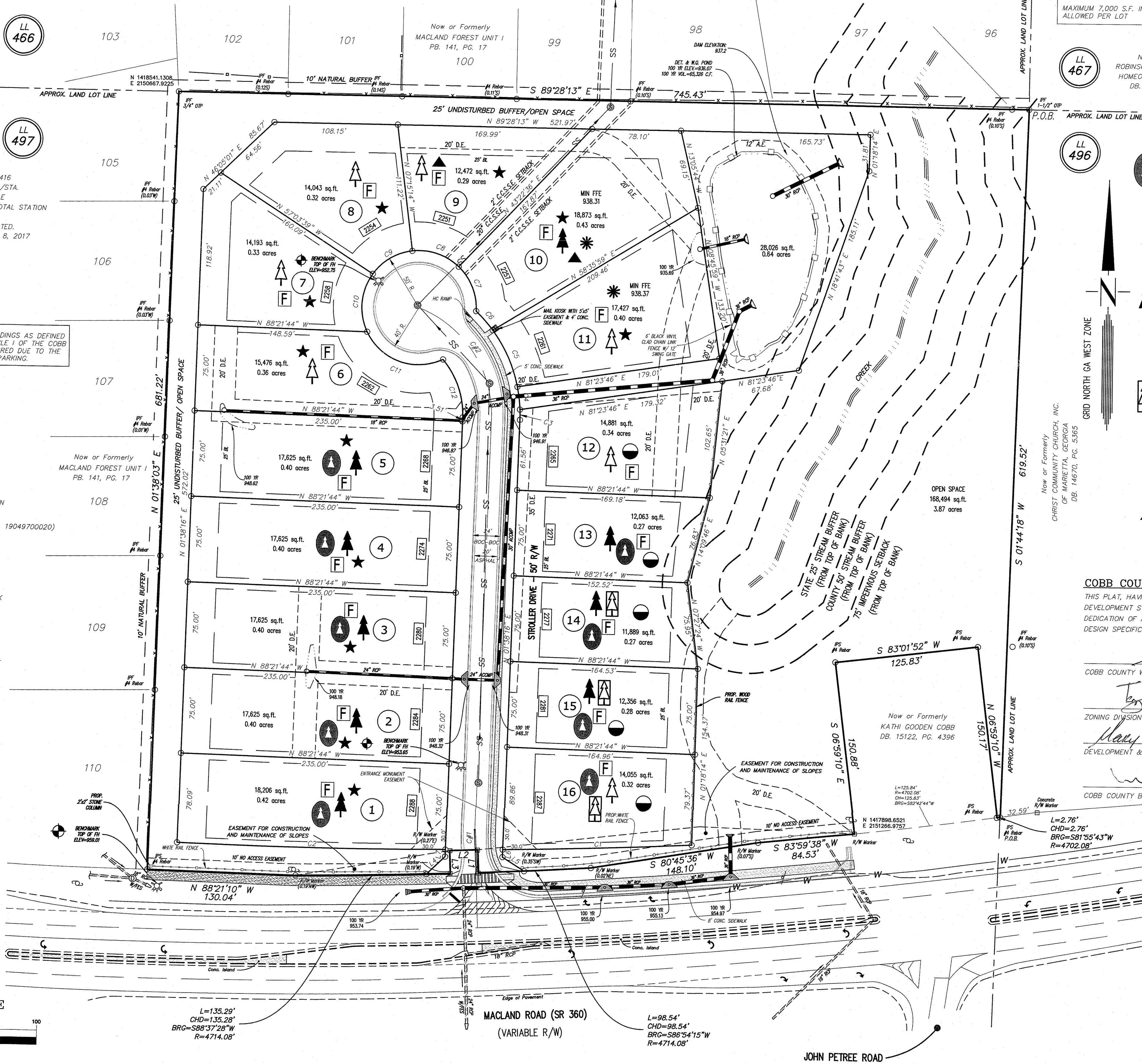


GEORGIA 811

UTILITIES PROTECTION CENTER, INC.
Know what's below.
Call before you dig.

CAUTION

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE PREPARER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



COBB COUNTY DEVELOPMENT CERTIFICATION

THIS PLAT, HAVING BEEN SUBMITTED TO COBB COUNTY AND HAVING BEEN FOUND TO COMPLY WITH COBB COUNTY DEVELOPMENT STANDARDS AND COBB COUNTY ZONING ORDINANCE, IS APPROVED SUBJECT TO THE INSTALLATION AND DEDICATION OF ALL STREETS, UTILITIES, EASEMENTS AND OTHER IMPROVEMENTS IN ACCORDANCE WITH THE STANDARD DESIGN SPECIFICATIONS AND THE POSTING OF A ONE YEAR MAINTENANCE SECURITY.

COBB COUNTY WATER SYSTEM
5/10/18
DATE
ZONING DIVISION
5-11-18
DATE
DEVELOPMENT & INSPECTIONS DIVISION
5-15-18
DATE
COBB COUNTY BOARD OF COMMISSIONERS

OWNERS ACKNOWLEDGMENT

SUBDIVISIONS WITH PUBLIC INFRASTRUCTURE:

I HEREBY CERTIFY THAT I AM THE OWNER OF THE LAND SHOWN ON THIS PLAT (OR DULY AUTHORIZED AGENT THEREOF) WHOSE NAME IS SUBSCRIBED HERETO, ACKNOWLEDGE THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND FOR VALUE RECEIVED THE SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED. I DO HEREBY CONVEY ALL STREETS AND RIGHTS-OF-WAY, DETENTION POND LOTS, WATER MAINS AND SEWER LINES SHOWN HEREON IN FEE SIMPLE TO COBB COUNTY AND FURTHER DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES HEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS HEREIN EXPRESSED. IN CONSIDERATION OF THE APPROVAL OF THIS DEVELOPMENT PLAN AND OTHER VALUABLE CONSIDERATIONS, I FURTHER RELEASE AND HOLD HARMLESS COBB COUNTY FROM ANY AND ALL CLAIMS, DAMAGES, OR DEMANDS ARISING ON ACCOUNT OF THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROPERTY SHOWN HEREON, ON ACCOUNT OF THE ROADS, FILLS, EMBANKMENTS, DITCHES, CROSS DRAINS, CULVERTS, WATER MAINS, SEWER LINES AND BRIDGES WITHIN THE PROPOSED RIGHTS-OF-WAY AND EASEMENTS SHOWN, AND ON ACCOUNT OF BACKWATER, THE COLLECTION AND DISCHARGE OF SURFACE WATER, OR THE CHANGING OF COURSES OF STREAMS.

AND FURTHER, I WARRANT THAT I OWN FEE SIMPLE TITLE TO THE PROPERTY SHOWN HEREON AND AGREE THAT COBB COUNTY SHALL NOT BE LIABLE TO ME, MY HEIRS, SUCCESSORS, OR ASSIGNS FOR ANY CLAIM OR DAMAGES RESULTING FROM THE CONSTRUCTION OR MAINTENANCE OF CROSS DRAIN EXTENSIONS, DRAINS, STRUCTURES, STREET, CULVERTS, CREEPS, OR SIDEWALKS, THE CHANGING OF COURSES OF STREAMS AND RIVERS, FLOODING FROM NATURAL CREEKS AND RIVERS, SURFACE WATERS, AND ANY OTHER MATTER WHATSOEVER. I FURTHER WARRANT THAT I HAVE THE RIGHT TO SELL AND CONVEY THE LAND WHATSOEVER TO THIS PLAT AND DO HEREBY BIND MYSELF AND MYSELF SUBSEQUENT IN TITLE TO DEFEND BY VIRTUE OF THESE PRESENTS.

Charles C. Franklin
BERNIE SMITH
PRINTED NAME
DATE
5-10-18

centerline

Surveying and Land Planning, Inc.
1901 SHILOH ROAD, SUITE 1210, KENNESAW, GA 30144
PHONE: (770) 424-0028 FAX: (770) 424-2389

MACLAND PRESERVE
LAND LOT 497, 19TH DISTRICT, 2nd SECTION
COBB COUNTY, GEORGIA

FINAL PLAT FOR:

NO.	DATE	REVISION DESCRIPTION	BY	PER COMMENTS FROM COBB COUNTY	CHK
1.	3-9-18				

DRAWN BY: MAC
CHECKED BY: CCF
DATE: 3-9-18
SCALE: 1" = 50'
PROJECT NO.: 316018F

SHEET NO.
1 OF 1