GENERAL NOTES:

- SITE AREA: -TOTAL: 78.374 ACRES -UNIT 2, PHASE A: 6.078 ACRES
- EXISTING ZONING : R-100 FRONT SETBACK: 35 FEET REAR SETBACK: 40 FEET SIDE SETBACK: 10 FEET/25 FEET
- LOCATION: LAND LOT 114, DISTRICT 7, PARCEL 170 PROPOSED USE: SINGLE FAMILY RESIDENTIAL SUBDIVISION UNIT 2, PHASE A: 11 LOTS
- OWNER/DEVELOPER: JOHN WIELAND HOMES AND NEIGHBORHOODS 4125 ATLANTA ROAD SMYRNA, GA 30080
- CONTACT PERSON: JASON GARETT 770-996-2400
- DESIGNER/ENGINEER: MCFARLAND DYER & ASSOCIATES, INC. 4174 SILVER PEAK PARKWAY SUWANEE, GEORGIA 30024 CONTACT PERSON: KEVIN D. WHIGHAM (770) 932-6550
- SOURCE OF TOPOGRAPHY IS FROM GWINNETT COUNTY GIS AND BOUNDARY IS FROM A FIELD RUN SURVEY BY PRIME ENGINEERING, INC (1888 EMERY ST. NW, SUITE 300 ATLANTA, GEORGIA 30318 PHONE: 404-425-7100) DATED JUNE 23, 2005 AND REFERENCE DATUM IS (I.E. NGVD 1929, MEAN SEA LEVEL, ETC.)
- ALL CONSTRUCTION SHALL CONFORM TO GWINNETT COUNTY DEVELOPMENT REGULATIONS. ALL CONSTRUCTION SHALL ALSO COMPLY WITH ALL APPLICABLE COUNTY, STATE AND FEDERAL CODES, STANDARDS AND REGULATIONS.
- THE UTILITIES SHOWN HERE HAVE BEEN LOCATED IN AN APPROXIMATE WAY. THE CONTRACTOR IS RESPONSIBLE FOR HAVING ALL UTILITIES MARKED AND SHALL CONTACT THE UTILITY PROTECTION CENTER AT(1-800-282-7411); AND SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES: AND SHALL PROTECT ALL UTILITIES FROM DAMAGE OR INTERRUPTION: AND SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES OCCASIONED DUE HIS FAILURE TO VERIFY THE LOCATION OR PROTECT UTILITIES.
- 9. THERE IS NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES OR FLOODPLAIN PER FIRM PANEL 13135C0057F DATED SEPTEMBER 29, 2006 ON THIS PROPERTY.
- 10. THERE ARE NO WETLANDS BEING DISTURBED ON THIS SITE.
- 11. 50-FOOT UNDISTURBED BUFFER AND A 75-FOOT IMPERVIOUS SETBACK SHALL BE MAINTAINED ADJACENT TO ALL STREAMS.
- 12. STORM WATER MANAGEMENT FOR THIS FINAL PLAT IS PROVIDED IN THIS UNIT AND IS ADDRESSED IN PROJECT NAMED STONEHAVEN AT SUGARLOAF: WITH CASE NUMBER SDP 2005-00088.
- 13. 1/2" REBAR TO BE SET AT ALL PROPERTY CORNERS.
- 14. SIDEWALKS ARE REQUIRED ALONG THE FRONTAGE OF SEVER ROAD. SIDEWALKS ARE TO BE LOCATED 2' FROM THE BACK OF CURB AND SHALL BE CONSTRUCTED OF CONCRETE A MINIMUM OF 5' IN WIDTH AND 4" THICK WITH A CROSS SLOPE OF .25" PER FOOT. CONCRETE SHALL BE CLASS "B" AND HAVE A STRENGTH OF 2200 PSI @ 28 DAYS (D.R.6: 13.2.a-f).
- 15. SIDEWALKS ARE REQUIRED ALONG BOTH SIDES OF THE INTERNAL STREETS. SIDEWALKS ARE TO BE 2' FROM BACK OF CURB AND SHALL BE CONSTRUCTED OF CONCRETE A MINIMUM OF 4' IN WIDTH AND 4" THICK WITH A CROSS SLOPE OF .25" PER FOOT. CONCRETE SHALL BE CLASS "B" AND HAVE A STRENGTH OF 2200 PSI @ 28 DAYS, D.R.6.13.2 a-f.
- 16. DEVELOPERS SHALL INSTALL SIDEWALKS ON ABUTTING EXTERNAL STREETS PASSIVE RECREATION AREA LOTS, AND OPEN SPACE LOTS, AND SHALL INSTALL INTERSECTION RADIUS CURB RAMPS AT NEW STREET INTERSECTIONS, AND L-SHAPED MID-BLOCK RAMPS AT CUL-DE-SAC TURNAROUNDS, WITHIN 60 DAYS OF APPROVAL OF THE FINAL PLAT (D.R. 6.13.1.a(1)).
- 17. DEVELOPERS SHALL INSTALL SIDEWALKS ON ANY VACANT LOTS REMAINING BETWEEN DEVELOPED LOTS (I.E., DWELLING UNDER CONSTRUCTION OR COMPLETED) PRIOR TO RELEASE OF THE SUBDIVISION MAINTENANCE SURETY (D.R. 6.13.1.a (1)).
- 18. HOMEBUILDERS SHALL INSTALL SIDEWALKS, AND CURB RAMPS NOT REQUIRED TO BE INSTALLED BY DEVELOPERS, ON BUILDING LOTS PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY (D.R 6.13.1.a.2).
- 19. SANITARY SEWER EASEMENTS AND DRAINAGE EASEMENTS ARE CENTERED UPON THE CENTERLINE OF PIPES WITHIN THESE EASEMENTS.
- EASEMENT ACCORDING TO CURRENT GWINNETT COUNTY POLICY. 21. UTILITY PROVIDER:
- -WATER GWINNETT COUNTY -SEWER - GWINNET COUNTY
- 22. STREET TREES SHALL BE MAINTAINED AND CARED FOR BY THE PROPERTY OWNER ADJACENT TO THE TREE EXCEPT IN SUBDIVISIONS IN WHICH THE PROPERTY OWNERS ASSOCIATION PROVIDES MAINTENANCE AND CARE. MAINTENANCE SHALL INCLUDE REPLACEMENT AND TRIMMING AS NECESSARY.
- 23. ALL LOTS ARE TO HAVE A RESERVE STRIP FOR DRAINAGE CONTROL 5' EITHER SIDE OF THE PROPERTY LINES, 10' EITHER SIDE OF REAR PROPERTY LINES AND 20' ALONG EXTERIOR (REAR) PROPERTY LINES.
- WVR2005-00021 DEAD END STREETS CONNECTION ELIMINATION
- WVR2005-00024 SUBDIVISION WITH PRIVATE STREETS & DRAINAGE SYSTEM 1. ALL STREETS SHALL BE CONSTRUCTED TO PUBLIC STREET STANDARDS OR

AS APPROVED BY MODIFICATION. ALL INTERIOR STREETS SHALL BE

- IDENTIFIED AS 50-FT WIDE EASEMENTS OWNED AND MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION. STREETS SHALL BE INSPECTED AS PUBLIC STREETS. 2. FOR BUILDING SETBACK PURPOSES, FRONT SETBACKS SHALL BE MEASURED AS IF THE STREETS WERE PUBLIC STREETS, OR AS APPROVED
- Y INDIVIDUAL VARIANCES. THE DEVELOPER SHALL ESTABLISH A MANDATORY PROPERTY OWNERS ASSOCIATE. WITH BY-LAWS WHICH SHALL INCLUDE THE FOLLOWING: A. AUTOMATIC (MANDATORY) MEMBERSHIP OF ALL PURCHASERS OF LOTS
- THEREIN AND THEIR SUĆCESORS. RESPONSIBILITY FOR MAINTENANCE, INSURANCE AND TAXES.
 EQUITABLE SHARING OF THE COST OF MAINTENANCE WITH SHARES
- DEFINED BY THE ASSOCIATION BY-LAWS. AUTHORITY TO PLACE LIENS ON THE REAL PROPERTY OF MEMBERS WHO FAIL TO PAY THEIR DUES OR ASSESSMENTS. DEVELOPER SHALL COMPLY WITH DEPARTMENT OF PUBLIC UTILITIES
- STANDARD PROPOSAL FOR THE INSTALLATION OF WATER AND SANITARY SEWER MAINS WITHIN PRIVATE DEVELOPMENT/SUBDIVISION. . DEVELOPER SHALL COMPLY WITH THE DEPARTMENT OF EMERGENCY SERVICES GENERAL ORDER FOR SECURITY GATE ACCESS.
- 6. ANY GUARDHOUSE/GATEHOUSE SHALL MEET REQUIREMENTS AS ESTABLISHED IN THE DEVELOPMENT REGULATIONS. THE DRAINAGE SYSTEM SHALL BE DESIGNED SUBJECT TO THE FINAL APPROVAL OF THE DIRECTOR OF DEPARTMENT OF PUBLIC UTILITIES AND CONSTRUCTED IN ACCORDANCE WITH THE DEVELOPMENT REGULATIONS. THE BY-LAWS OF THE PROPERTY OWNERS ASSOCIATION SHALL SPECIFY THAT
- MAINTENANCE OF THE DRAINAGE SYSTEM IS THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO INVESTIGATION OF COMPLAINTS ABOUT THE SYSTEM AND THE REPAIR AND CONSTRUCTION OF THE DRAINAGE SYSTEM.

ZONNING NOTES:

ZONNING: R-100

- MINIMUM LOT SIZE: 15,000 SQFT SEWER MINIMUM LOT WIDTH: 100 FEET, EXCEPTION 85 FEET CUL-DE-SAC
- MINIMUM ROAD FRONTAGE: 40 FEET . MINIMUM DWELLING SIZE: 1,400 SQFT
- DENSITY -OVERALL: 113 UNITS/78.374 AC. = 1.44 -UNIT 2, PHASE A: 11 UNITS/6.078 AC. = 1.81
- NET DENSITY=GROSS DENSITY (NO FLOOD, POWER & GAS EASEMENT, OR R.O.W.) 7. MAXIMUM BUILDING HEIGHT: 35 FEET
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- This plat was prepared for the exclusive use of the person, persons, or entity named hereon. This plat does not extend to any unnamed person, persons, or entity without ne express recertification of the surveyor naming such person, persons, or entity.

된, 생겨부드로 하실 도 본 하당하는 보면 통증한다면 바로 및 하다면 중에 대통에 불렀는 등에 문제를 하게 모습니다면 그 보고 하다면 중요한다면 함께 되는 그릇을 받아 되는데 하다고 되는 모든 나라고 되는다.

- GWINNETT COUNTY NOTES: 1. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY GWINNETT COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE
- 2. A MINIMUM OF TWO (2) TREES, AT LEAST 2 INCHES IN DIAMETER SHALL BE PLACED OR PRESERVED ON EACH INDIVIDUAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PLANTED TREES SHALL BE A SPECIES LISTED IN APPENDIX "A" OF THE BUFFER, LANDSCAPE, AND TREE ORDINANCE.
- 3. RECREATION AREA TO BE DEEDED TO AND MAINTAINED BY A MANDATORY HOMEOWNER'S ASSOCIATION. 4. COMMON AREAS & OPEN SPACE AREA TO BE DEEDED TO AND MAINTAINED
- BY A QUALIFIED HOMEOWNER'S ASSOCIATION. 5. A SEPARATE BUILDING PERMIT SHALL BE OBTAINED FOR ALL RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT AND ALL RETAINING WALLS USED AS A
- 6. AN APPROVED RESIDENTAL DRAINAGE (RDP) IS REQUIRED PRIOR ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "RDP". AN APPROVED HOLD AND RELEASE AFFIDATIV IS REQUIRED ON THOSE LOTS LABELED "RDP" OR RESIDENTAL DRAINAGE STUDY (RDS). AN ELEVATION CERTIFICATE IS REQUIRED ON LOTS LABELED "RDP-E" OR "RDS-E".
- 7. GWINNETT COUNTY DOES NOT ENFORCE PROTECTIVE COVENANTS. IT IS THE RESPONSIBILITY OF THE HOMEOWNERS TO ENSURE COMPLIANCE WITH THE PROTECTIVE COVENANTS.
- B. PER ARTICLE 8. SECTION 8.2.66 OF THE DEVELOPMENT REGULATIONS. IT IS RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN ANY DETENTION FACILITY CONSTRUCTED ON THEIR PROPERTY AND TO ENSURE THE FACILITY IS FREE OF OBSTRUCTION, SILT OR DEBRIS.

OPEN SPACE AND RECREATION AREA NOTES:

DAM PRIOR TO CONSTRUCTION OF THE WALLS.

- -TOTAL SITE AREA: 78.37 Ac. RECREATIONAL AREA REQUIRED DEVELOPED CONDITION = MIN. 3% OF TOTAL SITE; 78.37 Ac. X 0.03 = 2.35 Ac. -TOTAL TO DATE DEVELOPED RECREATION AREA + OPEN SPACE = 5.415 Ac. -0% IN FLOODPLAIN PLANNING NOTES:
- . GWINNETT COUNTY ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED SUBDIVISION PLAT.
- 2. STREAM BUFFER EASEMENTS ARE TO REMAIN IN A NATURAL AND UNDISTURBED CONDITION.
- 3. STRUCTURES ARE NOT ALLOWED IN DRAINAGE EASEMENTS.
- 4. THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE REQUIRES THAT A 25 FOOT BUFFER ADJACENT TO ALL STATE WATERS BE MAINTAINED (ARTICLE 4. SECTION 4.3, PARAGRAPH 15). AN EXCEPTION IS GRANTED TO HOMEOWNERS WHO PERFORM MINOR LAND DISTURBING ACTIVITIES SUCH AS HOME LANDSCAPING, HOME GARDENS, REPAIRS AND MAINTENANCE WORK (ARTICLE 3, SECTION 3.1, PARAGRAPH 3).
- 5. A RESIDENTAL DRAINAGE PLAN OR RESIDENTAL DRAINAGE STUDY SHALL BE REQUIRED TO BE APPROVED BY THE DEPARTMENT OF PLANNING AND DEVELOPMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "RDP" OR "RDS", RESPECTIVELY. PLEASE REFER TO THE GWINNETT COUNTY DEVELOPMENT REGULATIONS AND CONTACT THE GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT FOR FURTHER INFORMATION.
- 6. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNERS OF THE STORM WATER MANAGEMENT FACILITY TO KEEP THE ACCESS DRIVE FREE OF OBSTRUCTION AND TO MAINTAIN THE FACILITY FREE OF OBSTRUCTION, SILT AND DEBRIS, AND OPERATIONAL PURSUANT TO COUNTY REQUIREMENTS
- 7. A HOUSE LOCATION PLAN SHALL BE REQUIRED TO BE APPROVED BY THE DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "HLP". A HOUSE LOCATION PLAN IS A SCALE DRAWING SUBMITTED BY THE BUILDER AT THE TIME OF PERMIT. IT IS NOT REQUIRED THAT THIS PLAN BE PREPARED BY A LAND SURVEYOR OR PROFESSIONAL ENGINEER. THE PURPOSE OF THIS PLAN IS TO ENSURE THAT THE HOUSE IS PROPERLY LOCATED ON THE LOT. PLEASE REFER TO THE GWINNETT COUNTY DEVELOPMENT REGULATIONS OR CONTACT THE GWINNETT COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT FOR FURTHER INFORMATION.
- FINAL PLAT APPROVAL: THE DIRECTOR OF THE DEPARTMENT OF PLANNING & DEVELOPMENT CERTIFIES THAT THIS PLAT COMPLIES WITH THE ZONING RE DEVELOPMENT REGULATIONS, AND THAT IT HAS BEEN APPROVED BY ALL OTHER OPERATION COUNTY DEPARTMENTS, AS APPROPRIATE. THIS PLAT IS APPROVED SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE DEVELOPMENT PERFORMANCE AND MAINTENANCE AGREEMENT EXECUTED FOR THIS PROJECT

DATED THIS	DAY OF	2006	
		,	
FOR ORIGINAL SIGNAT	TURES, SEE PB 128~ F	G 237	

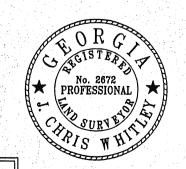
BETWEEN THE OWNER AND GWINNETT COUNTY.

DEPARTMENT OF PLANNING & DEVELOPMENT FINAL SURVEYOR'S CERTIFICATE

- IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENTS SHOWN HEREON, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST, AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 57.572 FEET AND AN ANGULAR ERROR OF 04" PER ANGLE POINT, AND WAS ADJUSTED USING LEAST SQUARES RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 386,036 FEET, AND CONTAINS A TOTAL OF 6.078 ACRES. THE EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS HEREIN WAS A LEICA CRA 1103 ROBOTIC.
- GA REGISTERED SURVEYOR NO. 2672 EXPIRES 12-31-2012

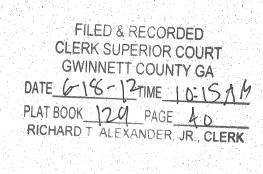
INTERSECTION CORNER SIGHT DISTANCE

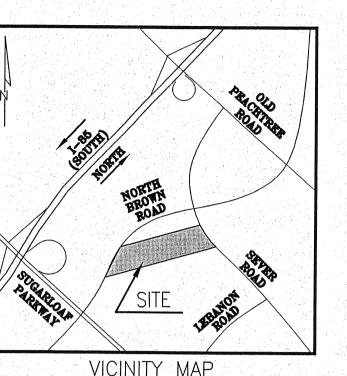
- CORNER SIGHT DISTANCE FOR STREETS AND PRIVATE DRIVEWAYS UTILIZING 10 TIMES THE SPEED LIMIT.
- I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED DRIVEWAY (S) FOR STONEHAVEN @ SUGARLOAF SUBDIVISION IS/ARE DESIGNED WITH ADEQUATE CORNER SIGHT DISTANCE FOR EACH DRIVEWAY/STREET APPROACHING A MINOR COLLECTOR OR MAJOR THOROUGHFARE. THE REGULATED SPEED LIMIT IS 25 MILES PER HOUR. THE SIGHT DISTANCE IS 250+ FEET IN EACH DIRECTION OR TO THE END OF STREET. THE MAXIMUM CORNER SIGHT DISTANCE FROM THE DRIVEWAY IS EQUAL TO OR EXCEEDS 10 TIMES THE REGULATED SPEED OF THE INTERSECTION STREET, AS MEASURED FROM THE CENTER OF THE DRIVEWAY IN BOTH DIRECTIONS ALONG THE RIGHT-OF-WAY LINE OF THE INTERSECTION STREET (SECTION 9.7.4 OF THE GWINNETT COUNTY DEVELOPMENT REGULATIONS.)



FPLZUIDOSO18 **REVISION #1:** 6-15-2012 ADD PIPE, HEADWALL & DRAINAGE EASEMENT AT REAR OF LOT DEVELOPMENT PLAN REVIEW DOST DATE TORMWATER PLAN REVIEW Charli Loune WATER & SEWER PLAN REVIEW

FINAL PLAT FOR: STONEHAVEN AT SUGARLOAF UNIT 2, PHASE A





NOT	10	SC	ALE	_	
	LO	T	C	HA	RT

LOT	AREA	AREA	BLOCK		
	Programme and the contract of		BLOCK	STREET ADDRESS	TAX NUMBER
NUMBER	(S.F.)	(AC.)		STREET ADDITESS	TAX NOWBEN
48	19,500	0.448	С	1595 GLENHAVEN WAY	7-114-238
49	15,000	0.344	С	1605 GLENHAVEN WAY	7-114-239
50	15,000	0.344	, C	1615 GLENHAVEN WAY	7-114-240
51	15,000	0.344	С	1625 GLENHAVEN WAY	7-114-241
52	15,000	0.344	С	1635 GLENHAVEN WAY	7-114-242
53	17,983	0.413	C	1645 GLENHAVEN WAY	7-114-243
107	18,583	0.427	. D	1648 GLENHAVEN WAY	7-114-244
108	17,825	0.409	D	1638 GLENHAVEN WAY	7-114-245
109	17,825	0.409	D.	1618 GLENHAVEN WAY	7-114-246
110	17,825	0.409	D	1608 GLENHAVEN WAY	7-114-247
111	23,455	0.538	D	1598 GLENHAVEN WAY	7-114-248
OPEN SPACE 6	18,687	0.429	С		7-114-249
OPEN SPACE 7	10,672	0.245	D		7-114-250

1	LINE CI	HART
NE	DISTANCE	BEARING
٠1 .	6.00'	S30'59'31"
2	22.82'	S30'21'42"
.3	34.69'	S18'33'05"

L4 34.33' S08'37'10"W

L5 | 64.76' | S03'01'31"

L6 9.16' | S01'42'48"W

LOT AND BLOCK CHART						
	BLOCK	NUMBER LOTS				
	С	6				
	D	5				
	TOTAL	11				

CURVE CHART

	CURVE	ARC	RADIUS	CHORD	CHORD BEARING
۲,	C1	14.14'	9.00'	12.73	N75'08'18"W
	C2	14.14'	9.00'	12.73'	N14'51'42"E
			1, 1		

PROJECT DATA

GENERAL				
ZONING	R-100			
LUMINU				
NUMBER OF LOTS	7	ECT DATA		
NUMBER OF LOTS	11			
TOTAL AREA (ACRES)	6.078 AC			
TOTAL DISTURBED AREA	2.437 AC			
NET AREA (ACRES) *	6.078 AC			
FLOOD PLAIN AREA	0 AC			
FLOODPLAIN %	0 %			
POWER/GAS EASEMENT OR				
SANITARY SERVICE	PUBLICLY DEDICATED SEV	YER TO GWINNETT COUNTY		
	DENSITY ((UNITS/ACRE)		
GROSS	LOTS / AC = 11 / 6.07	8 = 1.81 UNITS/AC		
NET	NO FLOOD, POWER ,GAS	EASEMENTS OR R.O.W. NET = GROSS		
	LOT & DV	VELLING DATA		
MINIMUM LOT SIZE	15,000 SQFT			
MINIMUM DWELLING SIZE	1,400 SQFT			
	OPEN SPA	CE AREA		
OPEN SPACE 6	0.429 AC			
OPEN SPACE 7	0.245 AC			
	RECREATION	AREA (ACRES)		
REQUIRED	YES			
REDUCED 50%	NO			
AREA REQUIRED**		4.70 ACRES (UNDEVELOPED) 2.35 ACRES (DEVELOPED)		
REA PROVIDED (PH1A)**	3% OF 78.374 ACRES = 2.35 ACRES (DEVELOPED) REC AREA = 2.267 AC (DEVELOPED)			
		RDINANCE		
ORDINACE COMPLIANCE OPTION	2 TREES PER LOT			
······································	TREES	(BUFFER)		
TYPES	NONE			
WIDTHS				
	RELATED	ZONING CASES		
TYPES CASE #				
viivh #	1111 E000 OUVE	1 1111 2000 000ZT		

** THE RECREATION AREA IN UNIT 1, PHASE A IS DEVELOPED 2.267 AC. AND A TOTAL OF 3.148 AC.

OF OPEN SPACE IS PLATTED IN UNIT 1, PAHSE A AND UNIT 2, PHASE A FOR A TOTAL OF 5.415 AC.

OWNER'S ACKNOWLEDGMENT AND DECLARATION:

STATE OF GEORGIA, COUNTY OF GWINNETT

THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT. ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND DEDICATES BY THIS ACKNOWLEDGMENT AND DECLARATION TO THE USE OF THE PUBLIC FOREVER, ALL STREETS, SEWER COLLECTORS, LIFT STATIONS, DRAINS, EASEMENTS, AND OTHER PUBLIC FACILITIES AND APPURTENANCES THEREON

	FOR ORIGINAL SIGNATURES, SEE PB 128~ PG 237	
	SIGNATURE OF SUBDIVIDER	DATE SIGNED
	FOR ORIGINAL SIGNATURES, SEE PB 128- PG 237	원리 : 18 경험은 글 작업을 보고 말했다. [1]
leti.	PRINTED OR TYPED NAME OF SUBDIVIDER	
	FOR ORIGINAL SIGNATURES, SEE PB 128- PG 237	
	SIGNATURE OF OWNER	DATE SIGNED

NOTE FOR SINGLE FAMILY DETACHED:

FOR ORIGINAL SIGNATURES, SEE PB 128- PG 237

PRINTED OR TYPED NAME OF OWNER

ALL LOTS ARE TO HAVE A RESERVE STRIP FOR DRAINAGE CONTROL 5' EITHER SIDE OF THE PROPERTY LINES, 10' EITHER SIDE OF REAR PROPERTY LINES AND 20' ALONG EXTERIOR (REAR) PROPERTY LINES.

COVENANTS REFERENCE:

DECLARATION OF PROTECTIVE COVENANTS AND EASEMENTS FOR STONEHAVEN AT SUGARLOAF IS RECORDED IN DEED BOOK 47357, PAGE 296 AS AMENDED.

12.5' TYP. SIDE YARD TYPICAL 2 EA -10' MIN. SIDE YARD 2" CALIPER TREES PROPOSED (25' - 2 YARDS PER LOT PLACED HOUSE COMBINED) PRIOR TO C.O. -MINIMUM DWELLING SIZE: 1,400 SQFT -A MINIMUM OF TWO (2) TREES AT LEAST 2 INCHES IN DIAMETER SHALL BE PLACED OR PRESERVED ON EACH INDIVIDUAL LOT PRIOR TO THE ISSUANCE A CERTIFICATE OF OCUPANCY. PLANTED TREES SHALL mb as administration as assessment BE A SPECIES LISTED IN APPENDIX "A" OF THE BUFFER, LANDSCAPE, AND TREE ORDINANCE. ALL GRASSED AREAS TO BE SODDED. 27' BC-BC 4' SIDEWALK (TYP) BOTH SIDES OF STREET 50' R/W

180.69

130.83

268.65

TYPICAL LOT LAYOUT

SURVEY DATA:

- THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 57,572 FEET AND AN ANGULAR ERROR OF 04" PER ANGLE POINT, AND WAS ADJUSTED USING LEAST SQUARES RULE.

STORM WATER PIPE CHART

Tc | 125 | Q 25 | Q (Sum) | Slope

(Min) (In/Hr) (cfs) (cfs)

5 8.28 0.70 4.53

5 8.28 4.77 51.25 2.

5 8.28 1.29 52.54 1.0

5 8.28 2.46 24.03

5 8.28 6.08 3<u>1.70</u> 5.*f*

5 8.28 3.83

5 8.28

Inlet Type | (Acres) |

0.85

70 AST-2 17D-17C DWCB 1.65 0.60 5 8.28 8.20 9.89

69 AST-2 17C-17B SWCB 0.29 0.72 5 8.28 1.73 11.62

DI 0.93 0.65

68 AST-2 17B-17A SWCB 0.10 0.85 5 8.28 0.70 16.85 2.

56 AST-2 15B-15A DI 0.41 0.61 5 8.28 2.07 62.56 3.0

55 AST-2 15A-12B JB 0.00 0.00 5 8.28 0.00 62.56 1.0

53 AST-2 13C-13B DI 0.33 0.63 5 8.28 1.72 1.72 1.0

52 AST-2 13B-13A SWCB 0.51 0.65 5 8.28 2.74 4.46 1.0

51 AST-2 13A-12E SWCB 0.10 0.81 5 8.28 0.67 5.13 8.0

49 AST-2 12N-12M DI 1.08 0.60 5 8.28 5.37 14.23 3.0

48 AST-2 12M-12L JB 0.00 0.00 5 8.28 0.00 14.23 3.0

47 AST-2 12L12K SWCB 0.95 0.82 5 8.28 6.45 20.68

46 AST-2 12K-12J SWCB 0.13 0.82 5 8.28 0.88 21.57

45 AST-2 12J-12l JB 0.00 0.00 5 8.28 0.00 21.57

41 AST-2 12F-12E SWCB 0.69 0.63 5 8.28 3.60 35.30 1.0

39 AST-2 12D-12C SWCB 0.97 0.66 5 8.28 5.30 46.37 1.0

38 AST-2 12C-12B SWCB 0.20 0.81 5 8.28 1.34 47.71 2

37 AST-2 12B-12A JB 1.24 0.65 5 8.28 6.67 116.95 1.2

DI 0.48 0.62

JB 0.00 0.00

50 AST-2 120-12N DWCB 1.70 0.63 5 8.28 8.87 8.87

73 | AST-2 | 19A-17B | SWCB | 0.10

72 AST-2 18A-17A SWCB 0.41

59 AST-2 15E-15D

44 AST-2 12I-12H

43 AST-2 12H-12G

71 AST-2 17E-17D DWCB 0.24 0.85

67 AST-2 17A-15D SWCB 0.71 0.65

58 AST-2 15D-15C SWCB 0.93 0.62

57 AST-2 15C-15B SWCB 0.19 0.82

54 AST-2 14A-12G SWCB 0.24 0.80

42 AST-2 12G-12F SWVB 1.13 0.65

40 AST-2 12E-12D SWCB 0.09 0.85

STONEHAVEN @ SUGARLOAF

Lgth. Size Vel. I 10 Q 10 Gutter Gutter

+/-(ft.) (In) (fps) (In/Hr) (cfs) Slope Spread

7.30 3.37 5.1 7.6

18 6.74 7.30 0.62 5.1 4.0

18 0.45 9.30 2.29 6.3 6.3

18 0.96 | 7.30 | 1.49 | 5.0 | 2.8

24 3.15 | 7.30 | 7.23 | 5.0 | 5.1

24 3.70 | 7.30 | 1.52 | 2.6 | 6.4

24 5.36 7.30 0.62 2.6 4.5

24 9.74 | 7.30 | 3.37 | 6.3 | 7.3

30 7.88 | 7.30 | 4.41 | 0.0 | 0.0

36 7.25 7.30 1.14 5.8 4.9

36 8.67 7.30 1.83 0.0 0.0

42 6.37 7.30 0.00 0.0 0.0

18 0.90 7.30 1.40 2.8 6.1

18 4.14 7.30 2.42 11.5 5.7

18 8.30 7.30 0.59 11.5 3.4

18 8.45 7.30 7.82 2.0 6.2

24 5.80 7.30 4.73 0.0 0.0

24 3.42 7.30 0.00 0.0 0.0

24 6.58 7.30 5.69 2.0 5.5

30 4.39 | 7.30 | 0.78 | 2.0 | 2.6

30 4.37 7.30 0.00 0.0 0.0

30 9.91 7.30 2.17 0.0 0.0

30 5.91 7.30 0.00 0.0 0.0

30 6.04 7.30 5.36 2.8 10.1

30 6.76 | 7.30 | 1.31 | 2.0 | 6.7

30 3.89 7.30 0.56 2.0 4.6

30 9.44 | 7.30 | 4.00 | 6.5 | 8.2

36 6.74 | 7.30 | 1.18 | 6.5 | 4.9

42 12.92 | 7.30 | 5.88 | 0.0 | 0.0

5.8 8.0

36 7.07 7.30 4.21

18 4.37 7.30 1.48

- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 386,036 FFFT

- A LEICA CRA 1103 ROBOTIC WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

- FIELD DATA WAS OBTAINED ON 08-02-2010.

