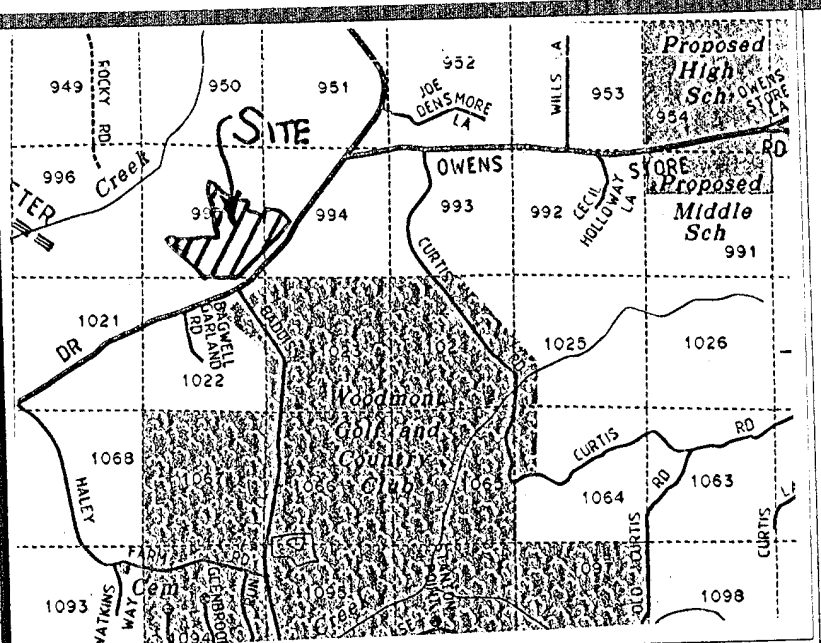


Filed in 11/9/2004 3:41:00 PM
Office Clerk of Superior Court Cherokee County, GA
Plat BK 81 Page 191
Anne M Reneau



LOCATION MAP - 1"=2000'

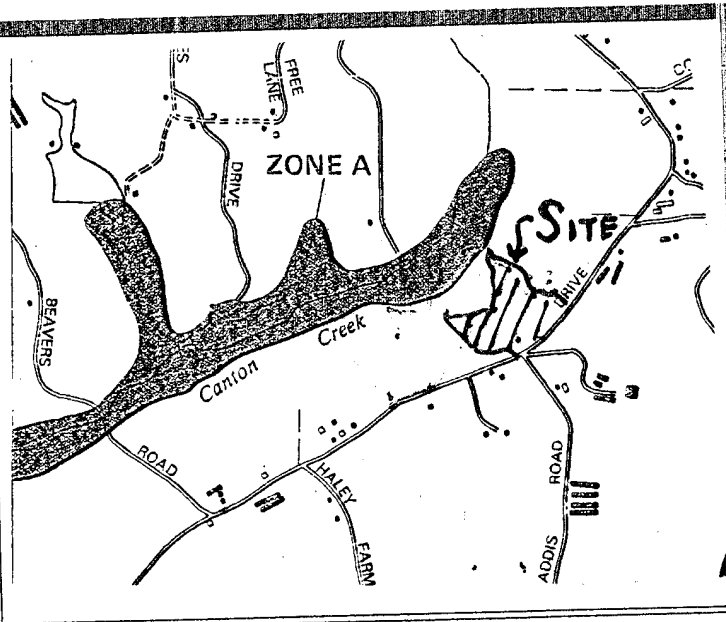
AREA SUMMARY
TOTAL LOT AREA = 7.641 ACRES
FUTURE AMENITY AREA = 4.785 ACRES
ROAD AREA = 2.167 ACRES
TOTAL AREA = 14.593 ACRES

FINAL SUBDIVISION PLAT FOR
**WOODMONT
UNIT 9A**

LAND LOTS 994 & 995, 3rd DISTRICT, 2nd SECTION
CHEROKEE COUNTY, GEORGIA

OWNER/DEVELOPER
JOHN WIELAND HOMES & NEIGHBORHOODS, INC.
1950 SULLIVAN ROAD
ATLANTA, GEORGIA 30337
(770)996-1400

ENGINEER/SURVEYOR
ROCHESTER & ASSOCIATES, INC.
425 OAK STREET, N.W., GAINESVILLE, GEORGIA 30501
ATLANTA: (770) 718-0600 GAINESVILLE: (770) 534-5106
SURVEYOR: B. KEITH ROCHESTER, JR.
ENGINEER: DARRELL K. ROCHESTER



THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER F.E.M.A. FLOOD INSURANCE RATE MAP OF CHEROKEE COUNTY, GEORGIA. PANEL NO. 130424 0275 B, EFFECTIVE DATE: JULY 15, 1988.
1"=2000'

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194, Anne M. Reneau #1

OWNERS CERTIFICATION AND DEDICATION

THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED THERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND DEDICATES BY THIS DECLARATION TO THE USE OF THE PUBLIC FOREVER ALL STREETS, SEWER COLLECTORS, LIFT STATIONS, DRAINS, EASEMENTS, AND OTHER PUBLIC FACILITIES AND APPURTENANCES THEREON SHOWN, AND TRANSFERS OWNERSHIP OF ALL PUBLIC AREAS IN FEE SIMPLE BY DEED, FOR THE PURPOSE THEREIN EXPRESSED.

John B. Gillispie
OWNER/SUBDIVIDER
DATE 5/1/00

COUNTY ENGINEER'S CERTIFICATE

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN REVIEWED AND APPROVED AS TO CONFORMANCE WITH THE DEVELOPMENT REGULATIONS OF CHEROKEE COUNTY, GEORGIA.

Shantell S. Shelton
COUNTY ENGINEER
DATE 5-16-00

CHEROKEE COUNTY WATER AND SEWER AUTHORITY CERTIFICATE

PURSUANT TO ALL REQUIREMENTS OF THE CHEROKEE COUNTY WATER DEPARTMENT HAVING BEEN FULFILLED, THIS PLAT IS APPROVED FOR RECORDING.

Bobby Sutcliffe
CHEROKEE COUNTY WATER DEPARTMENT
REPRESENTATIVE
DATE 5/11/00

CHEROKEE COUNTY MUNICIPAL COMMISSION CERTIFICATE

PURSUANT TO THE LAND SUBDIVISION RESOLUTION OF CHEROKEE COUNTY, GEORGIA, ALL THE REQUIREMENTS OF APPROVAL HAVING BEEN FULFILLED, THIS FINAL PLAT WAS GIVEN FINAL APPROVAL BY THE CHEROKEE COUNTY PLANNING COMMISSION ON 5/16/00.

[Signature]
SECRETARY, CHEROKEE COUNTY
MUNICIPAL PLANNING COMMISSION
DATE 5/16/00

CHEROKEE COUNTY FIRE MARSHAL'S CERTIFICATE

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN REVIEWED AND APPROVED AS TO CONFORMANCE WITH THE STANDARD FIRE PREVENTION CODE AND CHEROKEE COUNTY FIRE PREVENTION ORDINANCE.

[Signature]
FIRE MARSHAL
DATE 5/16/00

ENDANGERED SPECIES NOTE:
APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CHEROKEE COUNTY OF ANY LAND DISTURBING ACTIVITIES WHICH MAY RESULT IN THE TAKE OF ANY ENDANGERED SPECIES. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY DISTURBANCE WHICH MAY HAVE THIS EFFECT.

WETLANDS NOTE:
APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CHEROKEE COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND THAT IS DISTURBED.

GA. CHEROKEE COUNTY
PLAT FILED FOR RECORD
RECORD IN PLAT
BOOK 62 PAGE 181
ANNE M. RENEAU
CLERK SUPERIOR COURT

THIS PLAT IS FOR THE EXCLUSIVE USE OF
JOHN WIELAND HOMES & NEIGHBORHOODS, INC.
ANY USE BY THIRD PARTIES IS AT THEIR OWN RISK.

- NOTES:
1. NUMBER OF LOTS IS 18.
 2. ZONING IS R-15.
 3. DENSITY IS 1.2 LOTS PER ACRE.
 4. MINIMUM BUILDING SETBACK LINES ARE AS FOLLOWS:
FRONT = 25'
SIDE = 10'
REAR = 30'
 5. IRON PINS 1/2" REBAR SET (DENOTED BY "O") AT ALL LOT CORNERS.
 6. BENCHMARK FOR THIS PROJECT IS A CHISELED "X" IN A CONCRETE HEADWALL AT THE INTERSECTION OF CADDIS ROAD AND MILL CREEK.
ELEVATION = 1034.57 MEAN SEA LEVEL.
 7. FINISHED FLOOR ELEVATIONS SHALL BE NO LESS THAN 1 FOOT ABOVE THE FLOOD PLAIN.
 8. FINISHED FLOOR ELEVATIONS OF LOTS UPSTREAM OF CULVERT ROAD CROSSINGS SHALL BE NO LESS THAN 1 FOOT ABOVE THE LOW POINT IN THE ROAD.
 9. THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN, PER FLOOD ANALYSIS FOR WOODMONT SUBDIVISION, UNIT 9, BY ROCHESTER & ASSOCIATES, DATED JANUARY 7, 2000.
 10. PROTECTIVE COVENANTS FOR THIS SUBDIVISION ARE RECORDED IN DEED BOOK 3433, PAGE 99, CHEROKEE COUNTY, GEORGIA RECORDS.
 11. NO WATER METERS WILL BE SET UNTIL FINAL INSPECTION AND APPROVAL OR WATER LINE AND ALL CHEROKEE COUNTY WATER & SEWER AUTHORITY REQUIREMENTS ARE MET.
 12. NO C.O.'S WILL BE ISSUED UNTIL SANITARY SEWER SERVICE IS AVAILABLE.
 13. NO C.O.'S WILL BE ISSUED FOR LOTS WITH DRIVEWAYS CROSSING CREEKS UNTIL THE DRIVEWAY PIPE IS DESIGNED AND APPROVED.
 14. VISION CLEARANCE AT INTERSECTIONS. IN ALL ZONING DISTRICTS, NO FENCE, WALL, STRUCTURE, SHRUBBERY OR OTHER OBSTRUCTION TO VISION BETWEEN THE HEIGHTS OF THREE FEET AND FIFTEEN FEET, EXCEPT UTILITY POLES, LIGHT OR STREET SIGN STANDARDS OR TREE TRUNKS SHALL BE PERMITTED WITHIN TWENTY-FIVE (25) FEET OF THE INTERSECTION OF THE RIGHT-OF-WAY LINES OF STREETS, ROADS, HIGHWAYS OR RAILROADS, AS LONG AS THE SAME ALSO COMPLIES WITH STATE LAW.
 15. IT IS THE POLICY OF CHEROKEE COUNTY THAT "DRAINAGE EASEMENTS" WHILE DEDICATED TO PUBLIC USE ARE NOT ACCEPTED BY CHEROKEE COUNTY FOR COUNTY MAINTENANCE AND ARE NOT CONSIDERED COUNTY PROPERTY, ALTHOUGH CHEROKEE COUNTY MAINTAINS THE RIGHT TO ACCESS DRAINAGE EASEMENTS FOR EMERGENCY PURPOSES AS DEEMED NECESSARY BY THE COUNTY.
 16. ZONING CASE # 96-R-19.

SURVEYOR'S ACKNOWLEDGMENT

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON, AND IS TO THE ACCURACY AND SPECIFICATIONS REQUIRED BY THE CHEROKEE COUNTY DEVELOPMENT STANDARDS.

B. Keith Rochester, Jr.
B. KEITH ROCHESTER, JR., REGISTERED GEORGIA LAND SURVEYOR #1534



THE FIELD DATA, DATED 1/11/00, UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000 FEET AND AN ANGULAR ERROR OF 02 SECONDS PER ANGLE AND WAS ADJUSTED USING THE COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 192,118 FEET. TOPCON GTS-313 USED FOR ANGULAR AND LINEAR MEASUREMENTS.

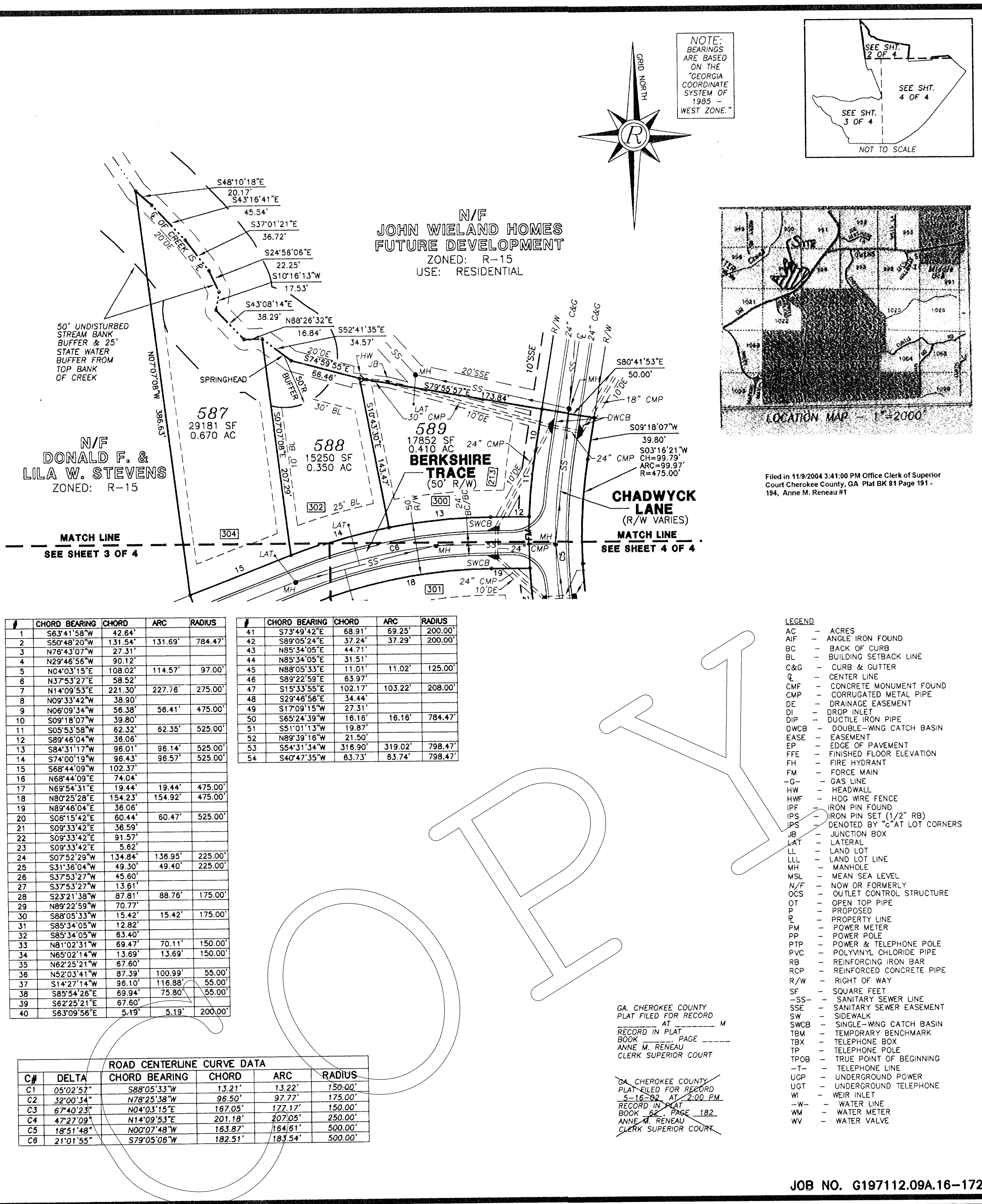
JOB NO. G197112.09A.016-1725

SHEET 1 OF 4
DATE 4-25-00
DRAWN BY MWM
FILE NO. S2718.DWG

THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.		
NO.	DATE	DESCRIPTION
1	5/16/00	SEE REVISION #1 ON SHEET 4
REVISIONS		

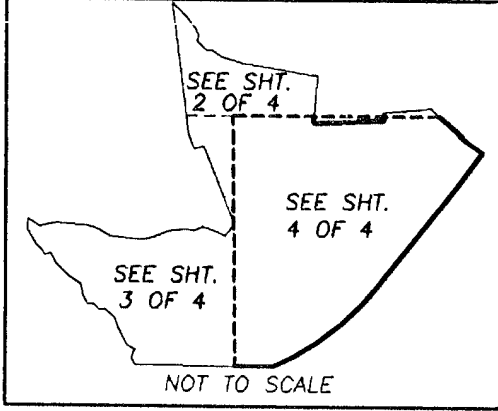
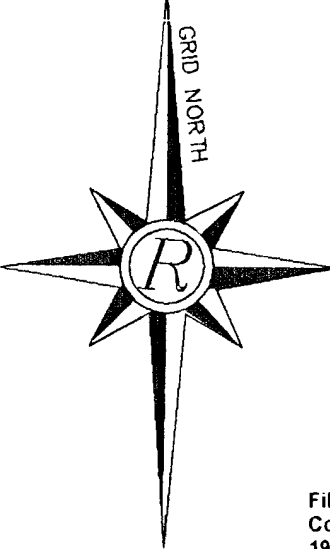
FINAL SUBDIVISION PLAT FOR
**WOODMONT
UNIT 9A**
LOCATED IN
LAND LOT 994 & 995, 3rd DISTRICT, 2nd SECTION
CHEROKEE COUNTY, GEORGIA

rochester
rochester & associates, inc.
Atlanta (770)718-0600 • Gainesville (770)534-5106
Gainesville (770)745-5106
425 oak st., n.w. Gainesville, ga. 30501

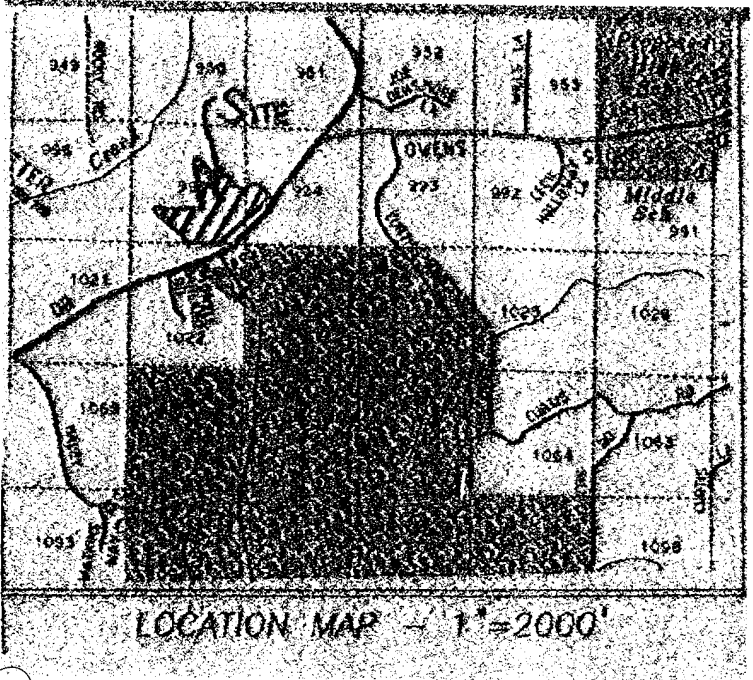
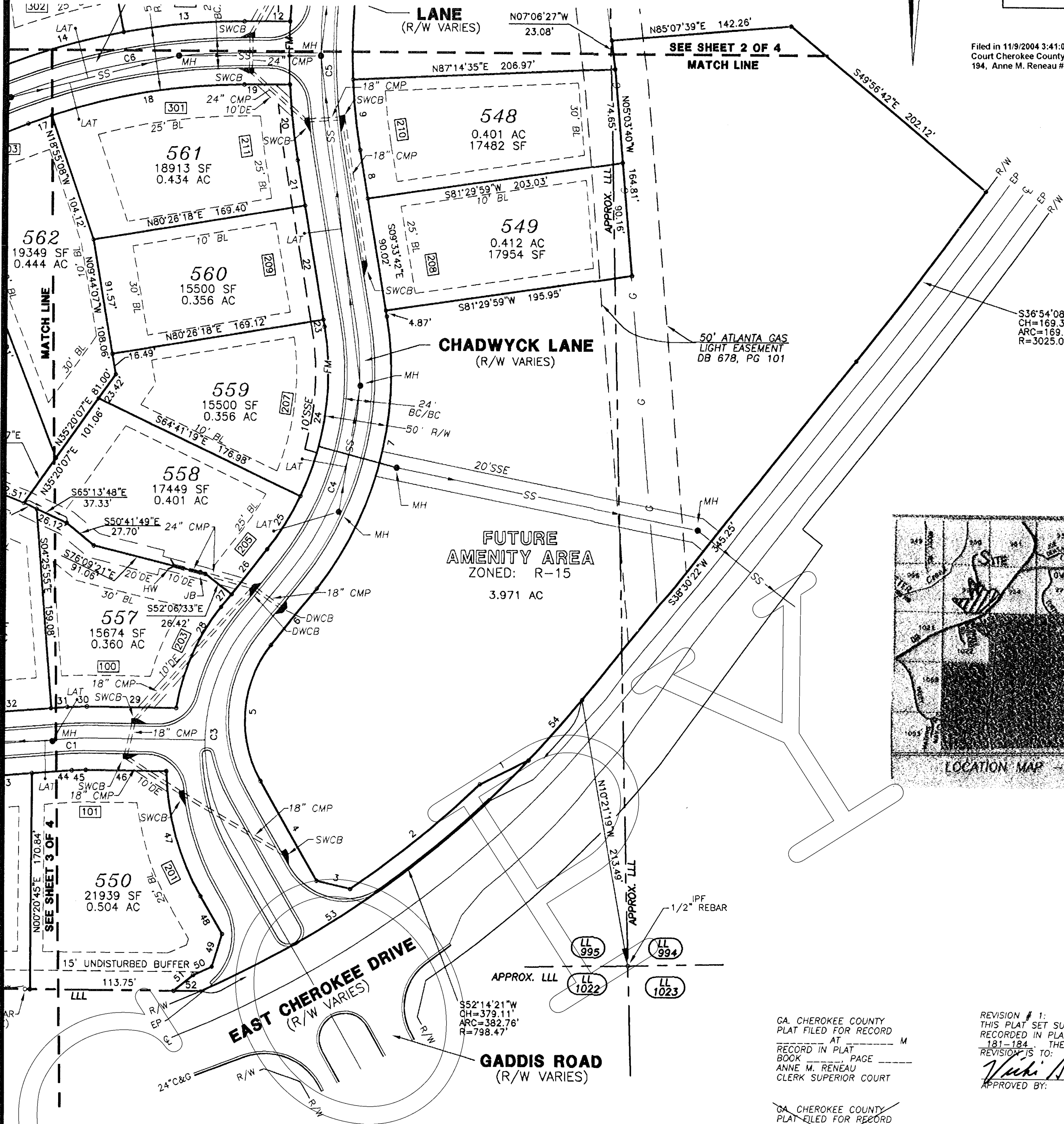


N/F
JOHN WIELAND HOMES
FUTURE DEVELOPMENT
ZONED: R-15
USE: RESIDENTIAL

NOTE:
BEARINGS
ARE BASED
ON THE
"GEORGIA
COORDINATE
SYSTEM OF
1985 -
WEST ZONE."



Filed in 11/9/2004 3:41:00 PM Office Clerk of Superior
Court Cherokee County, GA Plat BK 81 Page 191 -
194, Anne M. Reneau #1



GA. CHEROKEE COUNTY
PLAT FILED FOR RECORD
RECORD IN PLAT BOOK 82, PAGE 181-184
BOOK 82, PAGE 184
ANNE M. RENEAU
CLERK SUPERIOR COURT

REVISION # 1: DATED 10/15/04
THIS PLAT SET SUPERSEDES THE PLAT SET
RECORDED IN PLAT BOOK 82, ON PAGES
181-184. THE PURPOSE OF THIS
REVISION IS TO: ADD LOTS 548 AND 549.
APPROVED BY: *Anne M. Reneau* DATE: 10-27-04

GA. CHEROKEE COUNTY
PLAT FILED FOR RECORD
RECORD IN PLAT BOOK 82, AT 2:00 PM.
BOOK 82, PAGE 184
ANNE M. RENEAU
CLERK SUPERIOR COURT

JOB NO. G197112.09A.16-1725

SHEET 4 OF 4
DATE 4-25-00
SCALE 1"=60'
DRAWN BY WFM
FILE NO. S2718.DWG

THIS PLAT IS NOT VALID UNLESS
IT BEARS THE ORIGINAL SIGNATURE
OF THE REGISTRANT ACROSS
THE REGISTRANT'S SEAL.

GRAPHIC SCALE
0' 30' 60' 120'

NO.	DATE	DESCRIPTION
1	10/15/04	SEE REVISION #1 ON SHEET 4
NO.	DATE	DESCRIPTION
REVISIONS		

FINAL SUBDIVISION PLAT FOR
**WOODMONT
UNIT 9A**
LOCATED IN
LAND LOTS 994 & 995 • 3rd DISTRICT, 2nd SECTION
CHEROKEE COUNTY, GEORGIA

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