

ACADEMY PARK NEIGHBORHOOD
 TAX ID: 22 514212660108
 ZONED R4-A

PAVEMENT NOTE:
 1 ALL ROAD SECTIONS TO BE TYPE IA PAVEMENT PER CITY OF ALPHARETTA STANDARD
 DETAIL 901 ON SHEET C9.00

UTILITY NOTE:
 1 UTILITY LOCATIONS SHALL CONFORM WITH CITY OF ALPHARETTA STD. 400 & 401
 REFERENCED ON SHEET C5.01

SITE DATA:

ADDRESS 314, 332, 344, 400 THOMPSON ST. & 20, 30, 34, 35, 45, 55, 65 BURNETT DR., ALPHARETTA, GA

TOTAL SITE AREA 5.777

DEDICATED SITE AREA 1.03

DEVELOPMENT SITE AREA 4.73

DISTURBED ONSITE AREA 5.105

DISTURBED OFFSITE AREA 0.390

ZONING
 ZONING D1-LW
 ZONING JURISDICTION CITY OF ALPHARETTA

DEVELOPMENT STANDARDS

TOTAL UNITS 74 UNITS
 UNIT DENSITY 7.44 UNITS/AC
 OPEN SPACE PROVIDED 1.25 AC
 THOMPSON STREET SETBACK 10 FEET
 WESTSIDE PKWY SETBACK 20 FEET
 PARK TRANSITIONAL BUFFER 15 FEET
 FRONT YARD SETBACK 10 FEET
 SIDE YARD SETBACK 0 FEET (10 FEET BETWEEN STRUCTURES)
 REAR YARD SETBACK 3 FEET (10 FEET WITH ALLEY)

UNIT DIMENSIONS

24'X57' 1104 32.5 FEET

PARKING

MIN 1 PER BEDROOM (UP TO 2 BEDROOMS), PLUS 0.15 VISITOR SPACE PER UNIT PER UNIFIED DEVELOPMENT CODE CITY OF ALPHARETTA, APPENDIX A, ARTICLE 2, SECTION 2.4) -> 2/UNIT * 0.15/UNIT = 2(43)+0.15(43) = 93 SPACES

27 STANDARD SPACES + 3 ADA SPACES + 86 GARAGE SPACES + 86 DRIVEWAY SPACES + 203 SPACES

REQUIRED PARKING

TOTAL SPACES PROVIDED

P: (770) 451-2741 F: (770) 451-3915

WWW.PEC.PLUS



Planners & Engineers Collaborative+

LAND PLANNING+ LANDSCAPE ARCHITECTURE+ CIVIL ENGINEERING
 ARBORISTS+ SURVEYING & CONSTRUCTION+ WATER RESOURCES

350 RESEARCH COURT STE 200
 PEACHTREE CORNERS, GA 30092

PROJECT

CHISWICK PARK
 A MASTER PLANNED RESIDENTIAL DEVELOPMENT

AT
 314, 332, 344, 400 THOMPSON ST. &
 20, 30, 34, 35, 45, 55, 65 BURNETT
 DR.
 ALPHARETTA, GA

FOR
EMPIRE COMMUNITIES
 5775 GLENRIDGE DR
 BLDG B, SUITE 350
 ATLANTA, GA 30328
 P: 770-541-6910

ALPHARETTA LDP# D210013
 FULTON CO# 21-057WR

REVISIONS

NO.	DATE	BY	DESCRIPTION
-1	06-18-2021	DH	1st LDP SUBMITTAL
-2	09-01-2021	DH	2nd LDP SUBMITTAL

THIS SEAL IS ONLY VALID IF COUNTER SIGNED AND DATED WITH AN ORIGINAL SIGNATURE



GSWCC LEVEL II DESIGN PROFESSIONAL
 CERTIFICATION # 0000059389 EXP. 10/28/2021

SITE PLAN



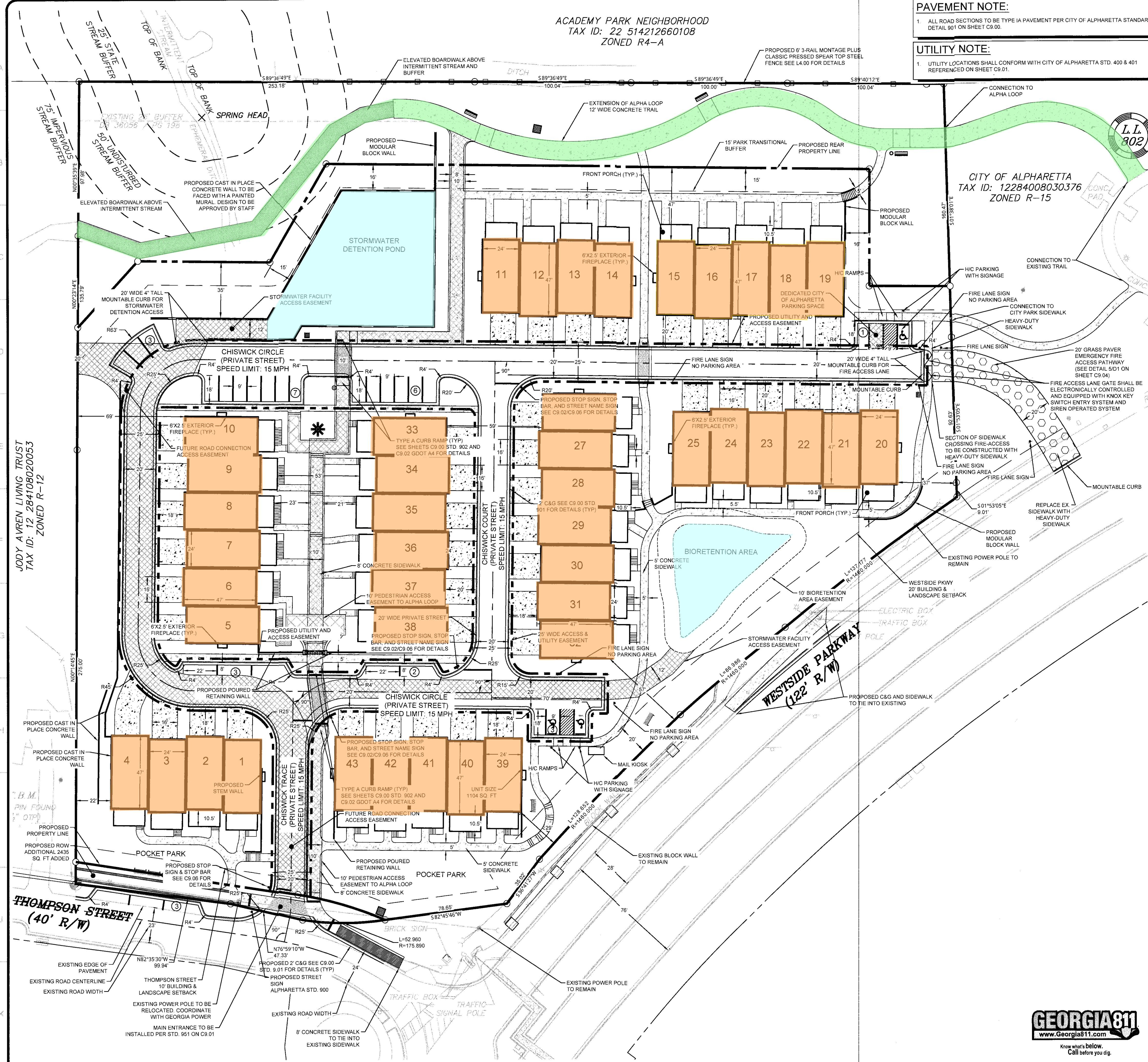
SCALE: 1" = 30'
 DATE: 9/28/2021
 PROJECT: 16182.002

CITY OF ALPHARETTA - TRAFFIC ENGINEERING NOTE:

1. ALL H/C RAMP FORMS MUST BE APPROVED BY CITY LAND DISTURBANCE INSPECTOR PRIOR TO CONCRETE POUR

C3.00

SHEET

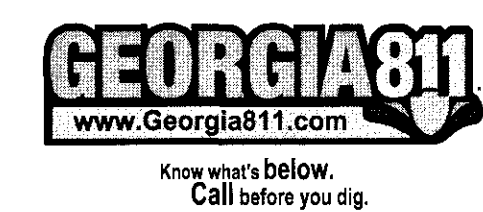


SITE NOTES:

- ALL REQUIRED TRAFFIC STRIPING MUST MEET MUTCD AND GDOT PLAN SPECIFICATIONS AND MUST BE THERMOPLASTIC.
- ON SITE GARBAGE PICKUP PROVIDED BY HERBY CURBY.
- IF A RETAINING WALL IS PROPOSED OVER 4' IN REVEALED HEIGHT, A SEPARATE BUILDING PERMIT WILL BE REQUIRED. ALL WALLS OVER 4'-0" REQUIRE FINISH OR ACCEPTABLE DENSE VEGETATION AT THE TOP PER UDC ARTICLE IV 4.4.5J.
- AT ALL POINTS ALONG THE PUBLIC RIGHT OF WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES HIGH, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY OF ALPHARETTA REQUIREMENTS AND THE SIDEWALK REPLACED.
- PRIOR TO THE DEDICATION AND ACCEPTANCE OF SANITARY SEWER, STORM SEWER OR STREET INFRASTRUCTURE TO THE CITY OF ALPHARETTA, "AS-BUILT" DRAWINGS AND 3-YEAR MAINTENANCE BONDS ARE REQUIRED. THE STREET CONSTRUCTION SHALL DEMONSTRATE ADEQUATE COMPACTION WITH PROFESSIONAL TESTING AND REPORTS PREPARED BY A GEORGIA REGISTERED PROFESSIONAL CIVIL ENGINEER. THE SANITARY SEWER INSTALLATION SHALL INCLUDE AN INTERNAL TELEVISION INSPECTION, A SUCCESSFUL MANDREL PULL AND SUCCESSFUL LEAK-DOWN PRESSURE TEST.
- INSTALLATION OF SIDEWALK ALONG PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF CITY OF ALPHARETTA CODE, SIDEWALKS AND CONCRETE CURB AND GUTTER SHALL CONFORM TO THE CITY OF ALPHARETTA STANDARD DETAILS. LOCATION OF SIDEWALKS AND SETBACKS ZONES AS SHOWN AS DETERMINED BY PLANNING DEPARTMENT.
- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF ALPHARETTA, GEORGIA REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY.
- CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
- BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE SCHEMATIC IN NATURE. SEE ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS.
- SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
- SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATION INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC., GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- TYPICAL RADIUS FOR THE SITE IS 4'. DIMENSIONS ARE FACE TO FACE UNLESS OTHERWISE NOTED.
- ALL TEMPORARY AND PERMANENT SIGNS SHALL BE PERMITTED SEPARATELY.
- OPEN BURNING OR BURY PITS ARE NOT ALLOWED.
- THERE ARE NO KNOWN WETLANDS ON SITE PER THE NATIONAL WETLANDS INVENTORY MAP.
- ALL REQUIRED TRAFFIC SIGNAGE MUST MEET MUTCD STANDARDS.
- NO WELLS OR SEPTIC SYSTEMS ARE PROPOSED OR EXIST ON SITE.

CITY OF ALPHARETTA - COMMUNITY DEVELOPMENT NOTES:

- AN 18 MONTH PERFORMANCE AND MAINTENANCE BOND WILL BE REQUIRED FOR ALL LANDSCAPING AND IRRIGATION.
- PARKING LOT LIGHTS WILL BE LOCATED OUTSIDE OF LANDSCAPE ISLANDS. SITE LIGHTING MUST BE APPROVED BY THE ZONING DEPARTMENT PRIOR TO ISSUANCE OF ELECTRICAL PERMIT.
- THE OWNER IS RESPONSIBLE FOR ANNUAL REPORTING OF THE WASTE GENERATION FOR THIS PROJECT ON AN ONGOING BASIS. THE WASTE GENERATION ANALYSIS MUST DEMONSTRATE A 25% OVERALL WASTE REDUCTION DUE TO RECYCLING.
- OFF STREET PARKING SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL REVISIONS TO THESE PLANS MUST BE SUBMITTED TO THE CITY OF ALPHARETTA COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO CONTINUING CONSTRUCTION.
- ALL ROOFTOP APPURTENANCES, SATELLITE DISHES AND/OR OTHER COMMUNICATION DEVICES WILL BE SCREENED FROM ALL PUBLIC RIGHTS-OF-WAY.
- ALL TEMPORARY AND PERMANENT SIGNS TO BE PERMITTED SEPARATELY.
- CONTACT THE FOLLOWING DEPARTMENTS FOR APPROVAL OF THE PERMANENT CERTIFICATE OF OCCUPANCY: COMMUNITY DEVELOPMENT, ARBORIST, TRAFFIC ENGINEERING, AND FIRE MARSHAL. ALLOW A MINIMUM OF 3 DAY NOTICE FOR A SITE INSPECTION APPOINTMENT.
- ON-SITE BURIAL IS NOT ALLOWED.
- AN ENGINEER'S CERTIFICATION WILL BE REQUIRED FOR ALL RETAINING WALLS PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. ALL RETAINING WALLS GREATER THAN 4' IN HEIGHT MUST OBTAIN A BUILDING PERMIT.
- IRRIGATION NOTES:
 A. IRRIGATION SYSTEMS ARE NOT ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY (SYSTEMS WILL BE ALLOWED INSIDE MEDIANS IF AN INDEMNIFICATION LETTER IS PROVIDED ABSOLVING THE CITY OF ALPHARETTA OF ANY RESPONSIBILITY FOR DAMAGES.)
 B. IRRIGATION SPRAY ONTO PUBLIC ROADWAYS IS NOT ALLOWED.
 C. IRRIGATION SYSTEMS MUST BE SHUT OFF OR OPERATED MANUALLY DURING WINTER MONTHS TO PREVENT UNNECESSARY ICE ON ROADS.



CITY OF ALPHARETTA - TRAFFIC ENGINEERING NOTE:

- ALL H/C RAMP FORMS MUST BE APPROVED BY CITY LAND DISTURBANCE INSPECTOR PRIOR TO CONCRETE POUR

JODY AVREN LIVING TRUST
 TAX ID: 12 284108020053
 ZONED R-12

B.M.
 PIN FOUND
 017P

THOMPSON STREET
 (40' R/W)

WESTSIDE PARKWAY
 (122' R/W)

LL
 802